

8.0 Outline Conservation Works and Cyclical Maintenance Schedules

8.1 Introduction

This section identifies works required to elements of the cottage's interior, exterior and shed, along with priorities and timings. Provision of a detailed scope of work is beyond the scope of this Conservation Plan and in some instances may require further specialist input prepared in conjunction with NCA maintenance strategies. The proposed works are presented in tabular form on a room by room basis.

8.2 Priority and Timing for Conservation Works

- **Urgent:** Urgent works to be undertaken immediately for WHS reasons or building safety (within 1 month).
- **Very High:** Urgent works to be undertaken immediately (within 3 months).
- **High Priority:** Generally works that should be undertaken immediately (within 12 months).
- **Medium Priority:** Works that are required and should be planned for in order to conserve the heritage values of the fabric.
- **Low Priority:** Works which are important to the future conservation of the heritage values but respond to less imminent risks.

Timing parameters have been established for the implementation of policies and actions in line with their priorities. Implementation should be completed:

- immediately (within 12 months or less and indicated by priority urgency);
- within 24-36 months annually;
- within 5-10 years;
- as required; or
- on an ongoing basis.

8.3 Schedule of Works for Blundells Cottage

Table 8.1 Identified issues and recommended works for the different components or elements of Blundells Cottage.

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
COTTAGE INTERIOR						
Back porch Cover strip between steps and floor	Fair	The cover strip is starting to come loose. This could become a trip hazard or worse if it catches on someone's shoe.	Carefully re-secure the metal strip to the floor following existing evidence.	High	2013	
Back porch Upper west wall paint	Fair	Paint is flaking off the wall.	The porch walls are important as the only walls not covered in post-1965 limewash. Seek professional advice on how to stabilise flaking paint and retain the porch wall as it is to indicate the range of colour finishes used during the life of the cottage and use this for interpretation. Refer to Gillian Mitchell Blundells Cottage Paint Analysis 2012 (and Appendix D) for conservation and protection of painted finishes.	Medium	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Back porch Upper wall	Poor	Intercom	If the Intercom system is redundant it should be removed.	Removal should occur before wall is stabilised.	2013	
		Roof leaks	Check if leaks have been repaired; monitor for leaks during rain.	High	2013	
		Ceiling stains	Research appropriate distemper/limewash products both in terms of content and colour, prepare and apply new.	It will identify if roof still leaking – High.	2013	
		Loose paint and plaster	Consolidate if possible, otherwise repair/replace damaged render as it is part of occupancy phase and therefore significant.	Medium	2015	
Back porch East wall	Stained	Evidence of former water entry. The stains mask whether there is on-going water entry. Gutters and valley on roof may be clogged.	Check gutters and valley on roof to prevent water penetration. Clean, and /or repaint.	Medium	2013 2015	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 1 West wall	Good	Hairline cracks are evident on the west wall and above the window in the eastern wall.	No immediate works at this stage as the walls appear relatively stable. The cracks should be monitored for movement, shrinkage and cracks, possibly through the attachment of 'Telltales'. This could reinforce use of Blundells as a conservation teaching site. Buy 'Telltales' and use in accordance with the instructions. Try < www.hmgroup.com.au >.	Medium	2013	
		Decayed mortar by window sill	Prior to the room being lime washed the crack should be cleared to remove loose material to the substrate and then filled with lime mortar to patch.	High	2013	
Room 2 Stove top	Poor	Water is entering through the chimney and rusting the stove top plate.	Cap the flue within the chimney opening at top of the chimney but allow vent to permit ventilation. Also check that recently introduced flashing at the junction of the roof and chimney is not causing problems. Note that recent cuts in	High	Early 2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
			brickwork to fit flashing are not consistent with sound Burra Charter practice. Contractors may need to be instructed in relation to traditional practices.			
Room 2 West wall	Poor	Render is actively spalling in a localised area to the lower right of the stove. This may be on-going, or exacerbated by the water falling on the stove. Salt activity may be involved.	Ensure there is no cement under the present surface and remove if necessary. Removed decayed material, apply poultice, dry wall and apply new lime based render once possible salt action has been stabilised. Monitor and check for other damp sources.	High	Mid 2013	
Room 2 West wall Rising damp	Poor	An arc of rising damp is evident up to about 700 mm to the left of the stove. The origin of the moisture needs to be located and resolved.	Check there is no cement under the current surface and remove if necessary. Remove built up soil and plants from the exterior to be consistent with local external ground level and well below the 50mm plinth. Review the recent flashing around the chimney and rectify. Ensure that roof and ground water is drained well clear of the wall. Make good interior render only after damp problems have been resolved.	Very high	Early 2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 2 West wall Falling and penetrating damp	Very poor	Damp is penetrating the wall from the ceiling all the way down to the floor.	<p>There is a roof valley that directs water to this location. The roof gutter also flows to this point. However the down pipe is completely clogged and causing water to run down the wall during rain.</p> <p>Roof water needs to be discharged well clear of the building and a comprehensive review of roof drainage should be undertaken to ensure that all roof water is collected and evacuated. In the short term the down pipe needs to be flushed clear or replaced. Gutters also need to be cleaned on a monthly basis. The internal surface can be repaired only after the external damp has been controlled.</p>	Critical	Immediate	
Room 2 West window	Poor	Paint on the interior of the windows is breaking down. Timbers in the sash will start to decay if this is not repaired. The problem is exacerbated by condensation on the inside of glass in winter.	<p>Sand back to sound wood, prime and paint.</p> <p>Use antifungal additive in paint or primer.</p> <p>De-humidify the room in winter to actively remove condensation.</p>	High	2013	
Room 2 Linoleum floor	Fair	The linoleum is distorting due to the uneven butt-jointed subfloor. This will exacerbate decay of the lino. The lino was added by the CDHS in 1963 and renewed in 1970. It is not individually significant but the use of recycled lino by the CDHS is typical of their conservation	Reinforce the underside of the lino. If the linoleum is lifted, investigate options for achieving a more level subfloor. Careful preparation will be needed to ensure linoleum is not damaged during lifting.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
		approach and should be noted and followed (if possible) if the lino is to be replaced.				
Room 2 Roof over ceiling space	Poor	There appear to be substantial holes in the roof over this ceiling space and possible gaps where roof sheets overlap.	Closely inspect and seal or patch all holes. Increase sheet overlap if re-roofing is found to be necessary.	Very high	2013	
Room 3 Hairline crack east wall	Fair	The hairline crack is immediately below a point on which the door head beam rests, although as the beam carries no weight, it is difficult to see what caused the crack. One possibility is that the beam was used as a scaffold support during previous work.	Monitor this crack to ensure that the corner of brickwork does not break away completely. Apply limewash to fill the crack and note if it reappears—which would suggest the crack is growing, in which case structural pinning may be necessary. Do not apply heavy weights to the beam (eg scaffolding), or allow children to swing on it.	Medium	2015	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 3 South wall crack	Fair	A crack extends from the former window sill to the floor. The crack matches cracks on the other side of the wall and indicates some settling in the building or a stress crack from overloading. It is not weakening the structure and appears benign.	Rake the crack to firm the substrate and fill it with lime mortar and repaint with lime wash.	Low	2015	
Room 3 Brickwork by door	Poor	The base of the bed leg has a sharp point protruding where a castor may have once been located. The point is scratching into the brickwork and causing erosion.	Fix a small but broad pad to the base of the cot leg.	High	Urgent	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 3 Floor by door	Slowly deteriorating	The mortar capping over this part of the floor is drummy and slowly deteriorating. The mortar is important because it contains several layers of surface treatment.	Monitor the mortar and consider consolidation, possibly by injecting adhesive between the layers although this risks exfoliation. Seek further advice from a materials /conservation specialist.	Medium	2014	
Room 3 Door knob impact on wall	Poor	The door knob has worn a large hole in the render from impact when the door is opened. The age of the wear is not established, but it is bad for both the knob and the wall.	Fill the hole with render and patch and paint. A small door stop at floor level is needed to prevent the problem re-occurring.	Medium	2014	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 3 Southwest corner damp	Poor	This is a continuation of the damp that is causing problems on the NW corner of Room 2. The problem is due to clogged gutters and downpipes externally, plus some deterioration of external mortar.	<p>Check and clear/repair the roof and down pipe as necessary.</p> <p>Roof water needs to be discharged well clear of the building and a comprehensive review of roof drainage should be undertaken. In the short term the down pipe needs to be flushed clear or replaced. Gutters also need to be cleaned on a monthly basis. The internal surface can be repaired only after the external damp has been controlled.</p> <p>Check ground drainage is directed away from building.</p> <p>Renew mortar with lime based mortar after clearing out all loose material.</p> <p>Allow to dry, scrape off stained material. Apply algaecide if moulds or algae present.</p> <p>Apply new limewash/distemper after researching suitable products.</p>	Very high	2013	
Room 4 Interior		No obvious issues				
Room 4 Ceiling space	Stable	Presence of asbestos cement sheeting and evidence of former lath and plaster ceiling. The stability of the asbestos cement sheet should be confirmed—the material around the manhole could easily be friable and therefore a risk. There is clear evidence of a	<p>Investigate the presence of asbestos by Hazardous Material in Buildings Review and undertake stabilisation.</p> <p>Subject to the recommendations of the Hazardous Material In Buildings Review, it is recommended that within a few years the asbestos sheet</p>	Urgent	Immediate	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
		former lath and plaster ceiling which could be reinstated or replaced with lath and plaster or fibrous plaster sheet. The lining boards are post-1963 and not significant to this site.	be removed and replaced with fibre cement sheet. The introduced lining boards can be reinstated. The fibre cement sheet will keep dust out of the room and the boards represent CDHS input. They will also provide a degree of texture that would have been present with a lath and plaster ceiling, but is lacking in modern plasterboard sheets.			
Room 4 Ceiling space	Dangerous	A large amount of debris has built up on the west wall in the ceiling, most probably due to former starlings or rats. The matter is highly flammable. It may also include asbestos.	Investigation of asbestos presence and remediation. Engage a specialist to investigate for asbestos presence and recommend appropriate clearing.	Urgent	Immediate	
Room 4 Ceiling space	Unclear	Possible termite activity	Inspect regularly and treat if active. Install termite baits. Get an assessment for any carpentry repairs or strengthening.	Urgent	Immediate	

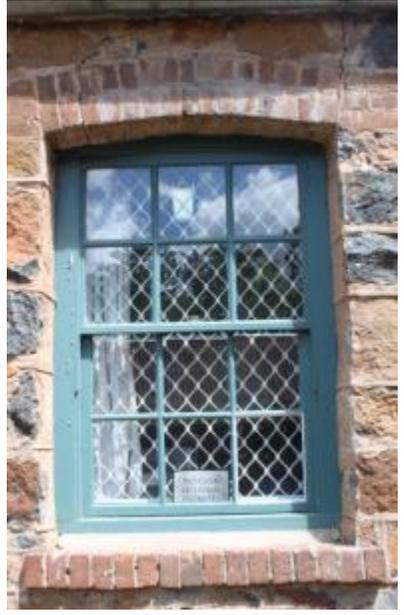
Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 5	Scuff marks	Heavy visitor use has resulted in a fair amount of scuffing along this wall.	At an appropriate time the wall could be cleaned and possibly re-limewashed/distempered in accordance with the interpretative presentation of the cottage.	Low	When other walls are being limewashed/distempered	
Room 5	Fair	Fretting bricks	Investigate to determine the cause—damp or drying? Apply a poultice to extract salts and then apply a sacrificial lime mortar, after salts have been removed/stabilised limewash can be applied. Monitor.	Medium	At the same time as similar repairs elsewhere in the building	
Room 5 Stains above chimney	Fair	Stains above the chimney suggest that there has been leaking at the chimney roof junction. It is not obvious if this is old or recent.	Check the roof flashing above the chimney and rectify if necessary to prevent further water entry. Clean stains in the short term, and apply limewash/distemper when the rest of the room is being limewashed, in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.	Very high	Check for leaking in the flashing in 2013. Remaining works when convenient.	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 5 South wall	Poor	Damp is entering the wall and is evident from floor level through to mid wall height. The source of damp is not entirely clear and it is likely that a range of measures will be necessary.	<p>Clear any soil build-up against the outside of the wall. Ensure south wall gutters and drains are effective and that water from leaking water tank is not causing problems.</p> <p>Repoint eroded sections of external wall to assist it to shed water.</p> <p>Apply poultice to interior wall, allow wall to dry then apply fresh limewash in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.</p>	High	2013	
Room 5 Threshold to room 3	Historic fabric	The surviving finishes of timber, paint and linoleum are at risk of being eroded from foot traffic.	If possible, compare with colour images from Freeman CMP 1994 to determine rate of erosion. Investigate options for consolidation or application of protective film. If warranted, cover with small carpet. Consult specialist materials conservator.	Medium	2015	
Room 6 Loose boards by front door	Fair	Some of the flooring boards by the front door are loose. These boards may provide access to the subfloor.	Screw the boards to the floor using slot head screws. Ensure boards can be easily removed for subfloor inspection.	Low	2015	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 6 Door bell	Eroding	Every time the door is opened or closed, the doorbell swings up and hits the underside of the head beam. This is damaging the paint and substrate.	Replace the doorbell with a fixed bell that does not swing.	High	2013	
Room 6 Original wall paper	Good	A small sample of original wall paper has been left exposed. This is significant fabric that provides an opportunity for reinterpreting the room's décor.	Ensure the sample is not inadvertently damaged. Investigate protection with something like a Perspex cover. Consult specialist materials conservator for conservation options which allow interpretation.	Low	2015	
Room 6 Fireplace	Fair	There are stains in the back of the fireplace which themselves are not a problem, however they may indicate occasional leaking down the chimney. Evidence suggests the fireplace was previously limewashed.	Monitor the fireplace during rain to observe if water is entering the chimney. Check chimney flashing and repair/replace as needed. Re-apply limewash.	High	2013	
Room 6 Fretting brick in fireplace	Poor	The brick is decaying, probably due to salts, low brick firing and water penetration.	Investigate and remove the source of the water. Apply poultice to remove salts and when stable re-limewash.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Room 6 Ceiling space	Stable	There is clear evidence of a former ceiling and shingle roof.	Consider additional interpretation of this space to visitors. Consider lighting to assist viewing.	Low	2015	
Room 6 Ceiling space	Unclear	There appears to be mud tunnel on the edge of a ceiling joist that is consistent with termite activity.	Confirm if this is a termite tunnel and treat it. Install termite bait and monitor. Assess and repair any timberwork damage.	Urgent	Immediate	

Table 8.2 Identified issues and recommended works for the different components or elements of Blundells Cottage main cottage building.

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
COTTAGE EXTERIOR						
East wall Window	Fair	Peeling paint on sash and casement.	Prepare carefully and repaint. Ensure painting will not result in sticking window or prevent window from opening. Paint colours to be in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.	Medium	2014	
East wall Window arch	Cracked	Subsidence cracks in stone and mortar. Similar cracks are evident elsewhere in the wall and could also be treated.	Check lintel is safe. Engage a heritage engineer or experienced heritage bricklayer to provide detailed assessment and long-term strategy for this problem. It may be appropriate to lift the arch and retrofit an arch bar to support the brickwork prior to repointing.	Medium	2014	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
East wall Soil build up	Fair	Soil is building up in the garden bed.	All soil levels next to the building should be kept low and below internal floor level to prevent water entering the stonework. Ensure all surface ground water flows away from the building.	Low	2015	
East wall Damp	Poor	Damp is accumulating in the corner and supporting the growth of algae and mould.	Ensure all gutters and drain pipes are working. Remove algae with an appropriate algaecide only once source of damp is identified and rectified.	High	2013	
Porch Threshold	Fair	The butt jointed floor boards are decaying where they are exposed to the weather. They have been replaced previously and are not considered to be particularly significant.	Treat decayed section of floor boards with commercial wood preservative or apply flood application of 0.33 Turpentine: 0.33 linseed oil: 0.33 Terebine. Consider paint sealing the outer 100 mm of the boards as a more permanent treatment. Alternatively replace boards with similar durable hardwood.	Medium	2014	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Porch Corner	Poor	The use of silicon here is an unsympathetic material.	Remove the silicon and replace if necessary with a more traditional solution, eg a mortar joint with a small timber cover strip.	Low	2015	
South wall Gutter behind tank	Poor	The gutter is clogged, distorted and overflowing onto the wall of the building and ground below promoting growth of algae and moss.	Clear the gutter, straighten and ensure all water flows well clear of the building. Check behind valley flashing as well. Monitor regularly.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Window behind tank	Fair	<p>Paint is peeling.</p> <p>A down pipe runs in front of the window.</p> <p>Intrusive security bars.</p>	<p>Carefully prepare and repaint window.</p> <p>Investigate alternatives to the location of the downpipe guttering.</p> <p>Remove security bars and make good. Investigate alternative security of crimsafe mesh as necessary.</p>	Medium	2014	
Wall behind tank	Fair	<p>Mortar has eroded in places to leave deep holes. This occurs in multiple locations around the building and will be allowing water penetration.</p>	<p>Remove any hard cement.</p> <p>Implement lime based mortar repairs to all locations where mortar has eroded. Allow up to 10% of joints for repointing.</p> <p>Carefully maintain existing masonry character. Match colour and style. Prepare samples first and match when dry. An appropriate mix is 1 lime putty: 3 selected sharp sand. A mix of 1 cement: 2 lime: 9 sharp sand may also be used, especially if it enables a more sympathetic colour match to be achieved.</p>	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Water tank	Poor	The tank is leaking and needs to be replaced as water leaks onto the ground and is also decaying the timber in the tankstand. The tank was installed in the mid-to-late 1990s and is not individually significant.	Replace tank with new galvanised iron tank (not colorbond or zincallume).	Urgent	2013	
East wall Soil and plant material between chimneys	Poor	Soil and garden bed has built up between the chimneys. Mortar decay.	Remove soil and re-grade the ground so water drains away from the building. Remove plant material. Repoint only open mortar joints.	Urgent	2013	
East wall Chimney	Poor	Spalling bricks and eroding mortar.	Resolve the damp which is eroding the pointing—remove built up soil from garden bed and do not water plants next to walls. Apply poultice to withdraw salts. Replace eroded bricks with closely matching	Very High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
			replacements. Remove loose material and repoint joints, holes with lime mortar.			
Intercom by front door	Poor	The intercom is not consistent with Blundells heritage values.	Remove the intercom if it is redundant or arrange alternative.	Low	2015	
Front Verandah post	Poor	The base of the post has decayed.	Scarf in the timber at the base, or replace the whole post. The post dates from 1963 and is not significant fabric. Any replacement should be like for like; that is, 100 x 100 rough sawn hardwood, sanded and then painted in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage. Seal the base of the post and secure to pavement with a concealed pin.	High	2013	
North Verandah roof	Poor	Leaf litter builds up on the roof and in the gutters resulting in blocked downpipes and water penetration to building.	Clean this on a regular basis, ideally weekly given the close proximity of the trees.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
North Trees	Problematic	This is a cluster of trees, one of which is growing over and dwarfing the building. The trees drop large quantities of needles onto the roof which accelerates decay of roof iron by holding moisture onto the roof, allowing water to penetrate between overlaps, clogs gutters and downpipes and which in turn is leading to water penetration into the building as water runs down the walls. The leaf litter on the ground is highly flammable.	Follow advice in SULE report on trees at the site. Trees at heritage sites have to be managed so that they do not damage buildings. Trees can be replanted to reinstate former landscapes.	Medium	2014	
West wall Yuccas	Problematic	The yuccas prevent access to the wall for maintenance. They date only from the 1960s and were initially planted as a deterrent to break ins. They have low significance.	Remove the yuccas. They prevent maintenance access and are not original to the cottage's farm phase.	High	2013	
West wall Mortar loss	Poor	Mortar loss on the west wall is generally more pronounced than on the other walls, probably due to greater weather exposure and cyclical wetting and drying.	Repoint the worst affected areas with lime based mortar to ensure full joints and reduce water penetration to the building. Allow 50% of pointing to be redone with 1 lime putty: 3 sharp selected sand. Match dry samples for colour and style before repointing affected areas.	High	2014–2024	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
West wall Windows x 2	Poor	The existing paint is breaking down.	Carefully prepare and repaint both windows in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.	High	2013	
West wall Gutter	Poor	The gutter is clogged and drains to the area where water penetrates into the building. It appears to be directing water onto the wall.	Replace the existing gutter and downpipe with a larger galvanised gutter and larger diameter galvanised downpipe. Hand make brackets and install so that gutter collects all water from the roof and valley. Clean the gutter and downpipe regularly (weekly if possible but at least monthly for the first year) and install gutter guards if leaf build up continues to be an issue. Seek SULE and arborist advice for pruning nearby tree branches that contribute to leaf litter on roof.	Urgent	2013	
West wall Downpipe	Clogged	Water can't get down the downpipe and so spills over the wall.	In the immediate instance clear the downpipe. Then replace with larger diameter (75mm) gal downpipe as per the above note. The downpipe needs to be larger and able to discharge more successfully at ground level. Install underground stormwater in preference to perforated agricultural drainage. Plastic pipe above ground to be covered with stone and not be visible.	Very high	Immediate	

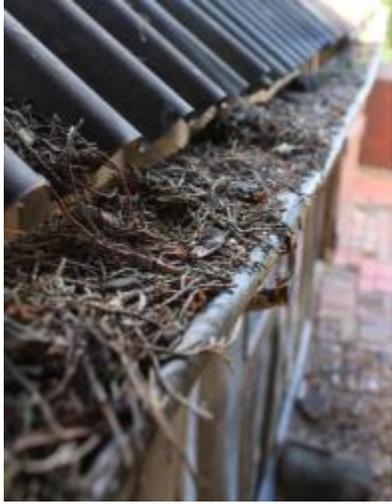
Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
West wall Chimney flashing	New	<p>This has been done poorly and not consistently with traditional methods. The flashing has been cut into the brickwork instead of stepped into the mortar course. The cross flashing appears to direct water under the roof iron.</p> <p>It is not known if this work has led to the leaking onto the stove below.</p>	Flashing should be removed and replaced by a tradesman who is appropriately trained. In future, such work should be only undertaken by people with appropriate expertise.	Urgent	2013	

Table 8.3 Identified issues and recommended works for the different components or elements of Blundells Cottage slab shed building.

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
SLAB SHED						
Slab shed Gutter	Loose	The gutter has drifted away from the roof and is not functional.	Reinstate and monitor effective operation.	High	2013	
Slab shed Galvanised cover strips	Good	Do not seal the building completely. Fabric introduced by CDHS.	Investigate if clay caulking was originally used. Only replace galvanised cover strips if there is conclusive evidence of prior clay sealing of the slabs and exact nature of clay caulking used. Do not proceed on the basis of past general custom or conjecture.	As necessary	As necessary	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Slab shed South door	Poor	Peeling paint	Prepare carefully and apply new paint or umber stain to the door in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.	Medium	2014	
Slab shed East wall Top plate	Good	The top plate provides evidence that this shed is the one that has been on the site from early days.	Retain all evidence embedded in the shed's fabric such as this rebate that supported the buggy lean-to roof.	High	Ongoing	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Slab shed East wall	Fair	Gutter does not seem to be aligned. There is leaf litter at ground level.	Keep the gutter and ground clean and ensure water is draining away from building. A full plumber assessment is recommended.	Medium	2013	
Slab shed West wall ground conditions	Poor	Leaf litter is building up at ground level.	Leaf litter must be regularly removed from building up against and near to the building as it will again lead to decay of base plates and slabs A tree management strategy is recommended.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Slab shed West wall gutter	Poor	Gutters fill with leaf litter from the nearby trees.	Clean gutters regularly, at least on a monthly basis.	High	Immediate	
Slab shed West wall	Poor	There is leaf litter between the tank and the slab wall that is likely to lead to decay of timbers.	Clean the leaf litter out. Move the tank away from wall a sufficient distance to allow regular access for cleaning.	High	2013	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Slab shed Shed door	Poor	There is peeling paint and timbers are starting to decay.	Check the security of hinges and their hanging. Fix as necessary. Carefully prepare and repaint to match existing colour scheme in accordance with 'Blundells Cottage Paint Analysis 2012' and consistent with the interpretative presentation of the cottage.	High	2013	
Slab shed Doorway	Mixed	Ensure that rain water doesn't enter the building.	Monitor and re-grade the bricks if required. The bricks are modern introductions to the landscaping and can be altered.	Low	Ongoing	

Element	Condition	Identified Issue/s	Recommended Works	Priority	Timing	Image
Slab shed Door catch	Modern	The use of bright chrome, stainless steel and Phillips-head screws are not suited to the historic presentation of Blundells cottage.	Replace with more appropriate functional hardware—a blacksmith may be necessary for manufacture.	Low	2015	
Slab shed New roofing screws throughout	Bright zinc finish	These bright steel screws won't patinate over time. Ideally galvanised screws will be used.	Obtain a supply of galvanised screws and lead washers for future repairs.	Low	2015	

8.4 Cyclical Maintenance Timing Guidelines for Blundells Cottage

Table 8.4 Maintenance Guidelines for Blundells Cottage.

Building Element	Tasks	Regularity				
		As Necessary	6 monthly	Annually	Every 2 yrs	Every 5–10 yrs
Roof	· Clean gutters valleys downpipes and skillion roof of leaves and pine needles.	Monthly				
	· Check for loose screws and lifting sheets and tighten as necessary.			X		
	· Check roof iron to determine if there is advanced rusting likely to cause leaking.			X		
	· Check all lead flashings etc to ensure they have not lifted or failed.			X		
Timber work	· Remove built-up leaf and soil debris from around the base of the slab shed such that the timber slabs are not covered.		X			
	· Undertake termite inspection.			X		
	· Check exposed timbers on porch and verandah for decay and apply wood preservative as required.			X		

Building Element	Tasks	Regularity				
		As Necessary	6 monthly	Annually	Every 2 yrs	Every 5–10 yrs
	<ul style="list-style-type: none"> Check internal timber floors for wear and tear etc and take remedial action as required. 				X	
	<ul style="list-style-type: none"> External paintwork—inspect and repaint if necessary. 				X	
Building fabric	<ul style="list-style-type: none"> Check external mortar in stone work and repoint if excessively decayed. 				X	
	<ul style="list-style-type: none"> Check external mortar and brickwork to chimneys and bread oven and restore if decay is excessive or rapid. 				X	
	<ul style="list-style-type: none"> Check internal fireplaces for decay and apply limewash as a sacrificial mortar. 			X		
	<ul style="list-style-type: none"> Undertake asbestos condition inspections so long as asbestos material remains on site. 			X		
Electrical services	<ul style="list-style-type: none"> Check for efficacy as required and that earth and circuit breakers are functioning. Ensure wires have not been damaged by rodents etc, and that there has not been a build-up of flammable material, water etc near power points, junction boxes meter boards and the like to ensure minimal likelihood of fire due to electrical fault. Inspection must include the roof space. 			X		

Building Element	Tasks	Regularity				
		As Necessary	6 monthly	Annually	Every 2 yrs	Every 5–10 yrs
Cleaning	<ul style="list-style-type: none"> Clean all walls, floors etc 	X				
Landscape	<ul style="list-style-type: none"> Ensure vegetation is not growing into or causing decay of building fabric. Ensure that soil levels have not built-up against walls such that they are promoting rising or penetrating damp in the building. Check levels and falls to ensure that storm water can drain freely away from the building. 			X		
	<ul style="list-style-type: none"> Mow grass and undertake garden management (pruning, weeding etc) 	X				