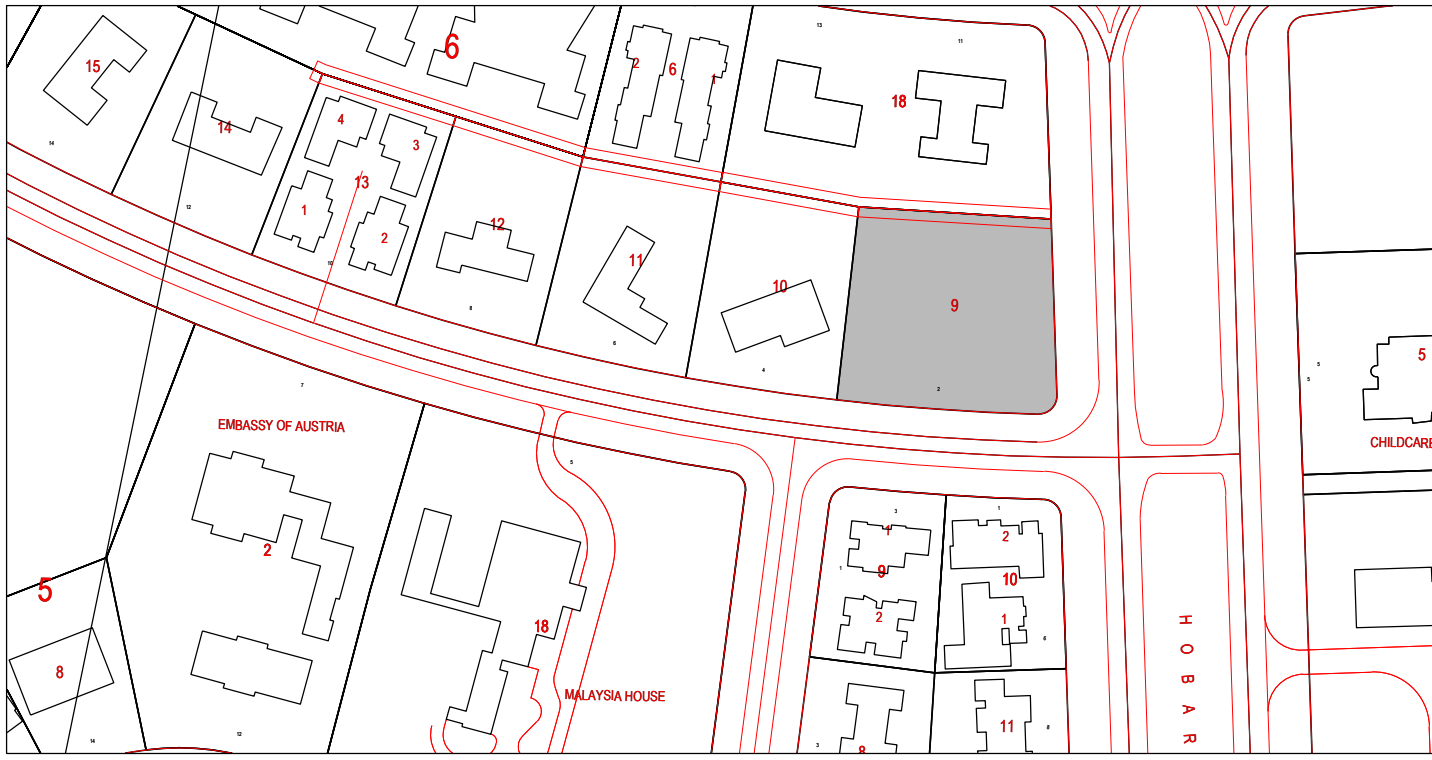




PROPOSED TOWNHOUSE DEVELOPMENT
2 SOMERS CRESCENT
BLOCK 09 SECTION 06 FORREST ACT

DA ISSUE
 18.05.2022
 NOT FOR CONSTRUCTION



LOCATION PLAN

NTS

SAFETY IN DESIGN STATEMENT:

WE DO NOT BELIEVE THAT THERE ARE ANY DESIGN ELEMENTS ASSOCIATED WITH THIS PROJECT THAT WOULD POSE ANY UNUSUAL RISKS TO HEALTH AND SAFETY THAT WOULD BE CONSIDERED OUTSIDE OF THOSE NORMALLY EXPECTED FOR THIS BUILDING TYPE.
IF ANY PERSONS CONNECTED WITH THIS PROJECT CAN IDENTIFY ANY UNUSUAL RISKS THAT NEED TO BE ADDRESSED PLEASE CONSULT THE DESIGNER

NOTE:

- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6

GENERAL NOTES

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERS DETAILS. CONFIRM STEEL SIZES PRIOR TO CONSTRUCTION.
ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS. VARIATIONS TO PLAN AND SPECIFICATION SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS.
ALL DIMENSIONS SHALL BE VERIFIED ON SITE.
ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA.
DO NOT SCALE OFF DRAWINGS.
FIRE PRECAUTIONS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA.
PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA.
FIRE EXTINGUISHERS SHALL COMPLY WITH AS 2444.
ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH C1.10 OF THE BCA.
ALL WET AREA FLOORS SHALL BE GRADED AND DRAINED TO FLOOR WASTES TO PLUMBING CODES AND THE BCA.
PROVIDE IMPERVIOUS WALL TO FLOOR JOINT TO THE PERIMETER OF ALL WET AREAS.
WATERPROOFING SHALL COMPLY WITH C1.11.7 OF THE BCA.
CONFIRM LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

EGRESS

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.6 OF THE BCA. THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0M EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.80M. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL, TO AN EXIT, EXCEPT AT DOORWAYS MUST BE 1.0M MINIMUM.

REQUIRED EXIT SIGNS SHALL BE IN ACCORDANCE WITH PART E4 OF THE BCA. PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS TO REQUIRED EXITS TO AS 2293.1.

EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE, AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXITS.

OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.1 OF THE BCA. A REQUIRED EXIT DOOR MUST BE READILY OPERABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1200MM FROM THE FLOOR.

LIGHTING

INSTALL EMERGENCY LIGHTING IN ACCORDANCE WITH AS 2293.1 AND PART E4.2 OF THE BCA INCLUDING DIRECTIONAL SIGNAGE (NOT SHOWN ON PLANS) TO BCA REQUIREMENTS.

PROVIDE ARTIFICIAL LIGHTING TO AS 1680.

ACCESSIBILITY

ACCESS FOR PEOPLE WITH DISABILITIES SHALL COMPLY WITH PART D3 OF THE BCA AND AS 1481.1.
DISABLED PERSON TOILETS SHALL COMPLY WITH AS 1428.1.
DISABLED PERSON WC SHALL HAVE ADEQUATE FACILITIES FOR THE DISPOSAL OF SANITARY TOWELS AND A SHELF MUST ALSO BE PROVIDED.
DISABLED PERSON CAR PARKING SHALL BE IN ACCORDANCE WITH D3.5.

TACTILE INDICATORS

PROVIDE TACTILE INDICATORS IN ACCORDANCE WITH D3.8 OF THE BCA AND AS 1428.1 AT THE ENTRANCE TO THE CAR PARK AREA AND AT THE APPROACH TO THE STAIRWAY.

THE BUILDING ACCESS SHALL HAVE A SLIP RESISTANT SURFACE.
PROVIDE BRAILLE AND TACTILE SIGNS TO IDENTIFY SANITARY FACILITIES.

SARKING

INSTALL ROOF SARKING TO AS/NZS 4200 PARTS 1 AND 2.

IMPORTANT NOTE

THIS PLAN IS PREPARED FOR THE CLIENT FROM A COMBINATION OF FIELD SURVEYS AND EXISTING RECORDS PROVIDED BY THE CLIENT. SERVICES AND INFORMATION SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN.

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

STAIRS

GOINGS AND RISERS SHALL BE IN ACCORDANCE WITH PART D OF THE BCA. NOMINAL DIMENSIONS OF RISERS AND TREAD MUST BE CONSISTENT FOR EACH FLIGHT OF STAIRS AND THERE MUST BE NO MORE THAN 18 RISERS PER FLIGHT. RISERS AND GOINGS SHALL BE IN ACCORDANCE WITH THE BCA.

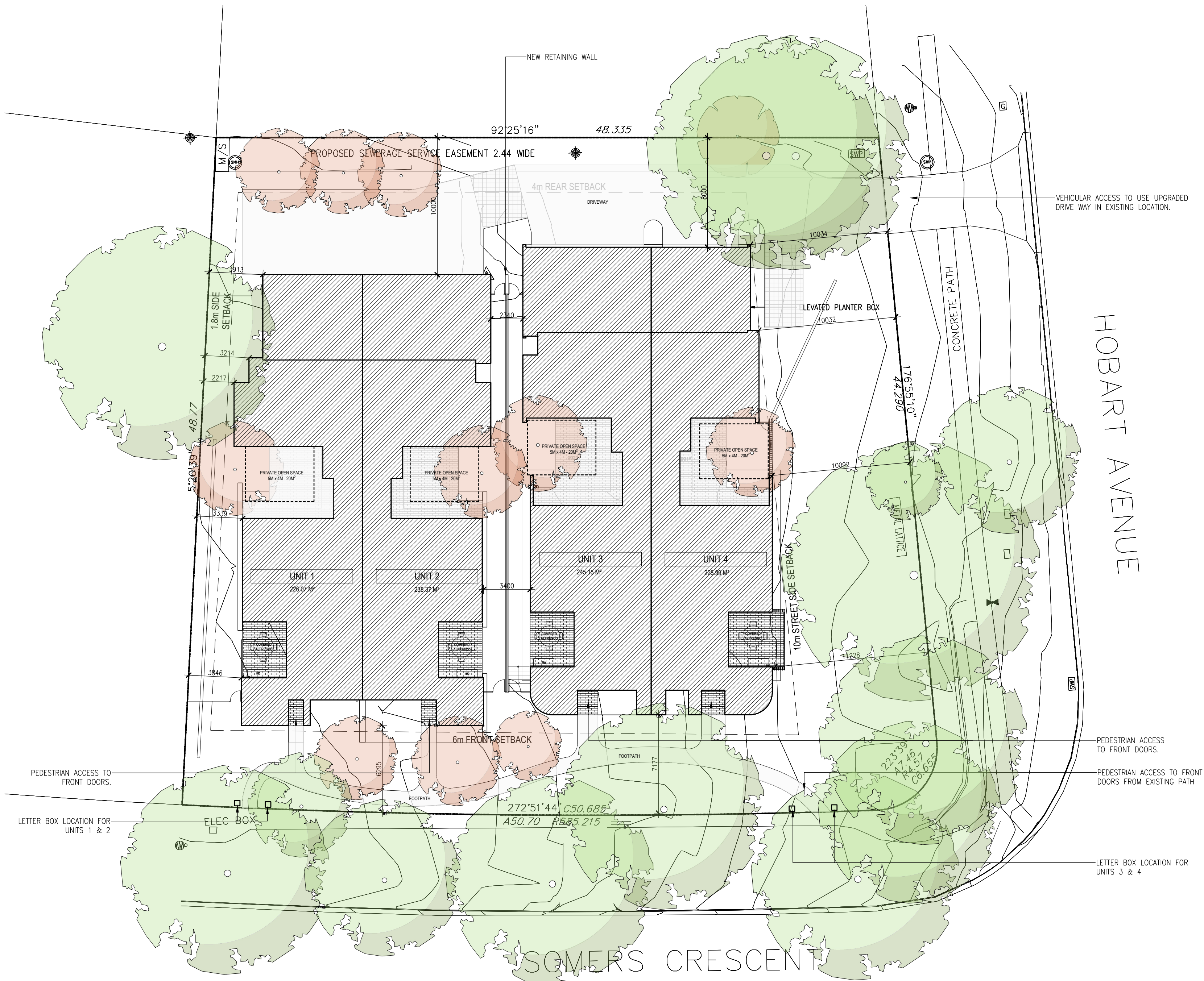
RISER 190 MAX, 115 MIN
GOINGS 305 MAX 290 MIN
QUANTITY (2RISER-GOING) 700MAX, 550 MIN

STAR SHALL BE BALUSTRADED WHERE HEIGHT TO FINISHED GROUND LEVEL EXCEEDS 1.0M.
BALUSTRADE SHALL BE 1000 HIGH AND NOT LESS THAN 850MM ABOVE STAIR NOSINGS. NO OPENING IN BALUSTRADE MUST ALLOW A 125MM SPHERE TO PASS THROUGH. LOADING FORCES MUST BE IN ACCORDANCE WITH AS 1170.1.

WHERE HEIGHT OF STAIR IS GREATER THAN 570 ABOVE FINISHED GROUND LEVEL, BALANDING IN ACCORDANCE WITH CLAUSE 3.9.1.3 SHALL BE PROVIDED.

AREA ANALYSIS:

SITE AREA	2553.76 M ²
UNIT 1	
GROUND FLOOR	180.80 M ²
UPPER FLOOR	79.84 M ²
GARAGE	45.26 M ²
UNIT 1 TOTAL AREA	305.90 M ²
UNIT 2	
GROUND FLOOR	179.75 M ²
UPPER FLOOR	79.74 M ²
GARAGE	58.02 M ²
UNIT 2 TOTAL AREA	315.58 M ²
UNIT 3	
GROUND FLOOR	186.45 M ²
UPPER FLOOR	77.45 M ²
GARAGE	58.86 M ²
UNIT 3 TOTAL AREA	322.58 M ²
UNIT 4	
GROUND FLOOR	180.72 M ²
UPPER FLOOR	77.57 M ²
GARAGE	45.27 M ²
UNIT 4 TOTAL AREA	303.57 M ²
TOTAL AREA	1250.16 M ²



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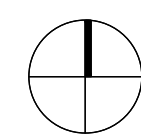
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NORTH



DA ISSUE

NOT FOR CONSTRUCTION

REVISION E

REVISION DATE 30.11.22

PROJECT NO. 2067

DWG NO.

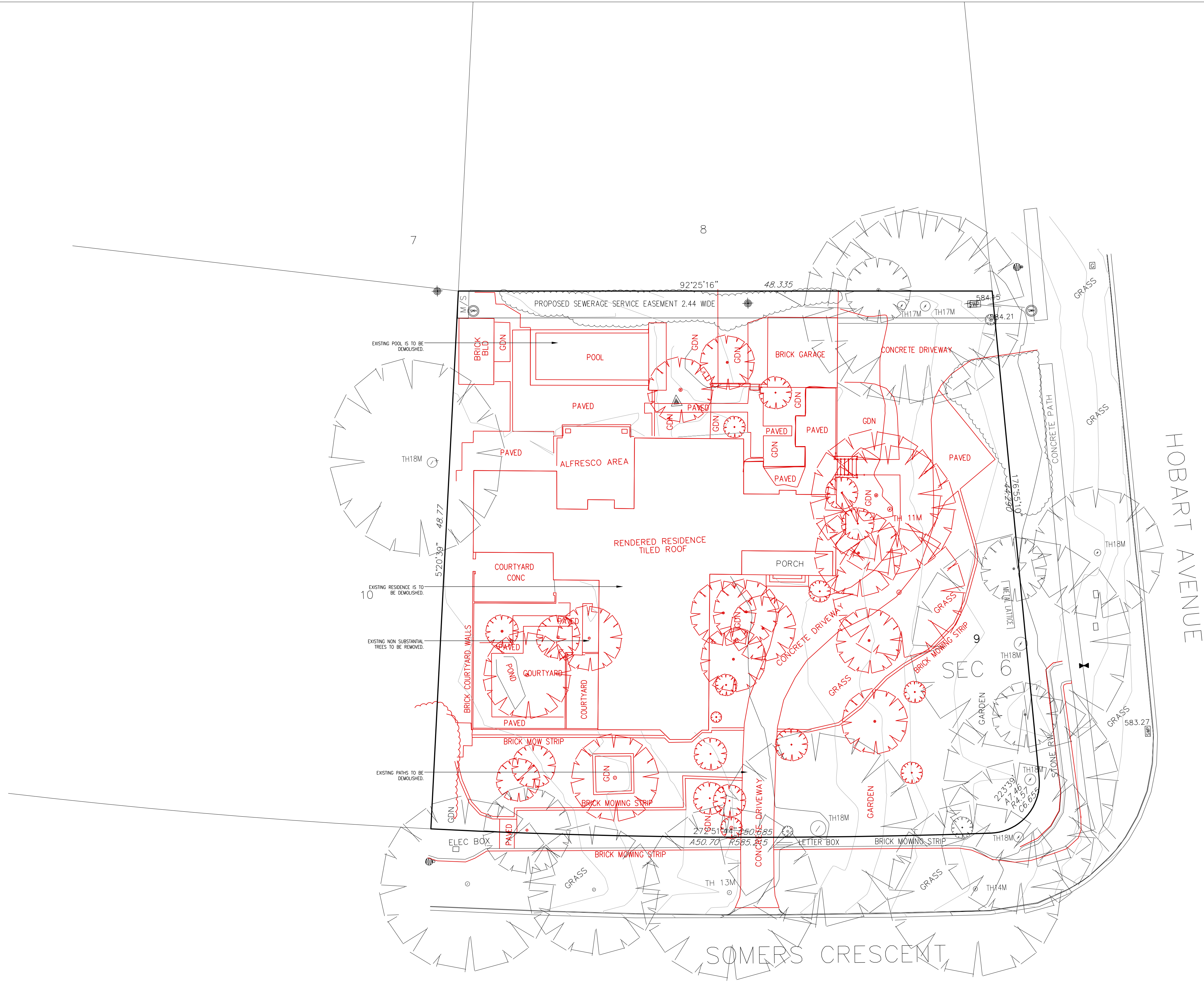
A101

SUITE 10, 14 LONSDALE ST
BRADDOCK ACT 2612
PHN: 02 6239 4888
T: 02 6239 4888
www.dna-architects.com.au
Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS

REVISION NO.	DESCRIPTION	DATE
A	DA ISSUE	10/04/22
B	DA ISSUE	10/04/22
C	UNIT 1 AMENDMENT	10/04/22
D	UNIT 1 & 2 GARAGE CHANGES	20/09/22
E	BCA REVISIONS	20/11/22



LEGEND:	
 	- TO BE DEMOLISHED
 	- TO BE RETAINED

NOTE: ALL PLANS TO BE READ IN CONJUNCTION WITH EXTERNAL SCHEDULES AND CROSS REFERENCED WITH ALL CONSULTANT INFORMATION.

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Principal Nominee: Glen Downes
Registration 966



AMENDMENTS	DESCRIPTION	DATE
A	DATE OF ISSUE	10/04/22
B	DATE OF ISSUE	10/04/22
C	DATE OF ISSUE	10/04/22
D	DATE OF ISSUE	10/04/22
E	DATE OF ISSUE	10/04/22

AMENDMENTS	DESCRIPTION	DATE
A	DATE OF ISSUE	10/04/22
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C	DATE OF ISSUE	10/04/22
D	DATE OF ISSUE	10/04/22
E	DATE OF ISSUE	10/04/22

AMENDMENTS	DESCRIPTION	DATE
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C	DATE OF ISSUE	10/04/22
D	DATE OF ISSUE	10/04/22
E	DATE OF ISSUE	10/04/22

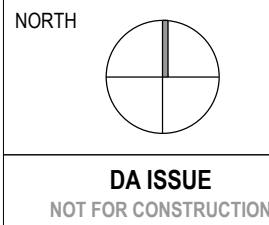
PROJECT	RUMBLE
CLIENT	GRAEME RUMBLE
LAND OWNER	GRAEME RUMBLE

BLOCK	09
SECTION	06
ADDRESS	02 SUMMERS CRES
SUBURB	FORREST
STATE	ACT

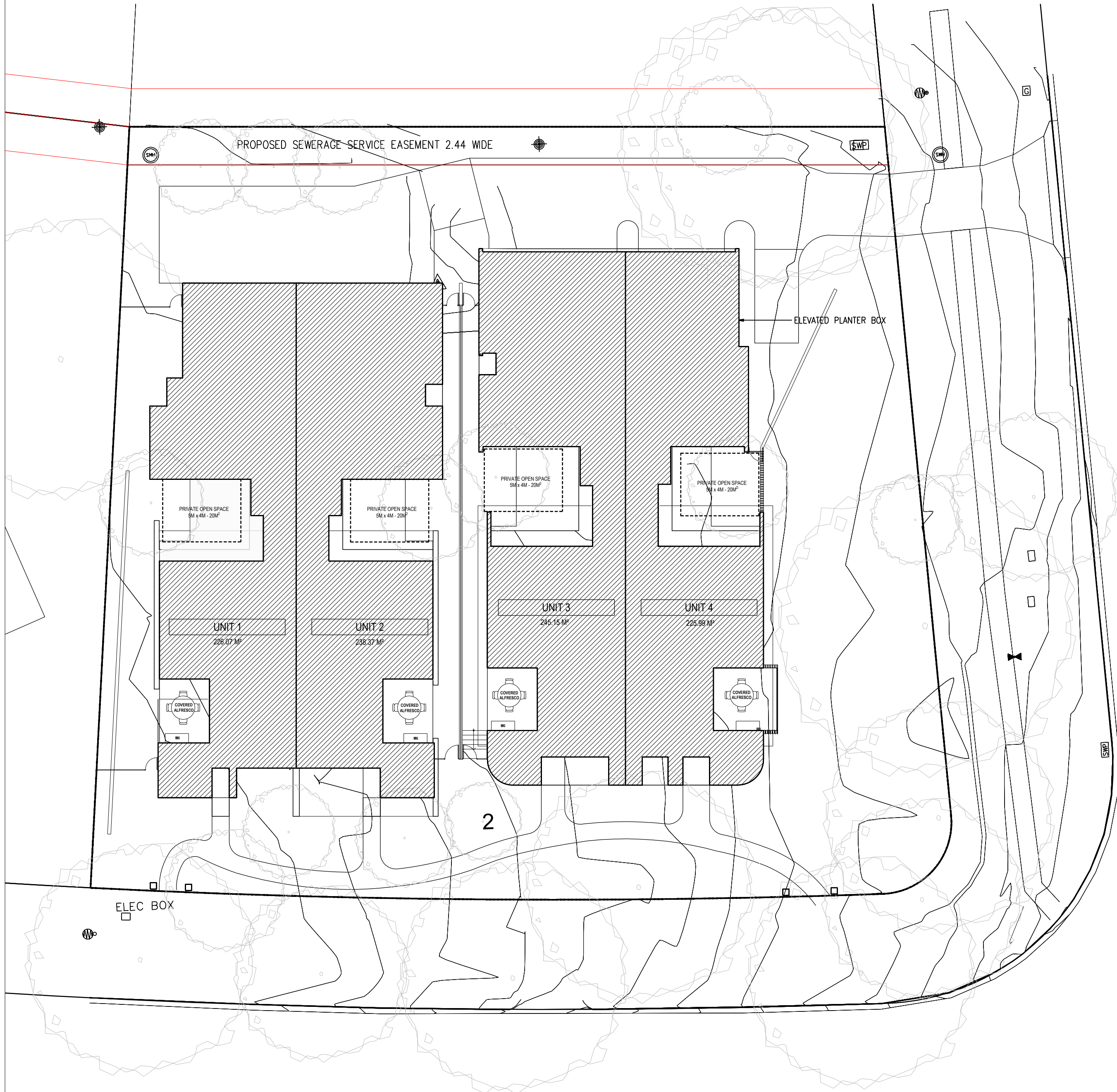
DRAWING	DEMOLITION PLAN
SCALE	1:200@A1
PRINT DATE	30.11.2022
DRAWN	RN/MS/AH

REVISION	E
REVISION DATE	30.11.22
PROJECT NO.	2067
DWG NO.	A102

GENERAL NOTES:
ALL WORKS ARE TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & ALL RELEVANT AUTHORITY REQUIREMENTS.
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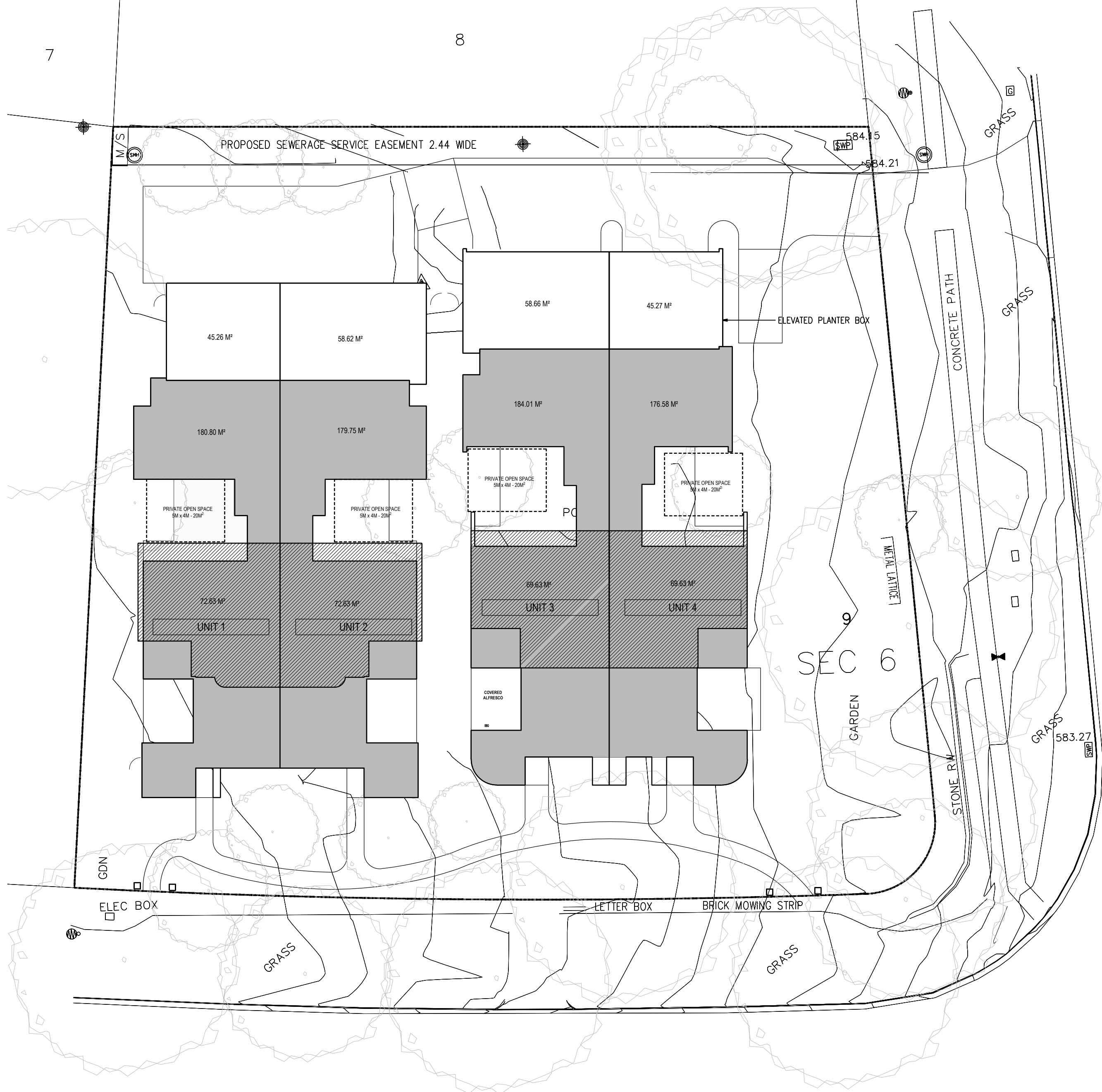


SITE COVERAGE
Scale 1:200 @ A1

SITE COVERAGE AREA

SITE COVERAGE ANALYSIS:

SITE AREA	2553.76 M ²
UNIT 1	226.07 M ²
UNIT 2	238.37 M ²
UNIT 3	245.15 M ²
UNIT 4	225.99 M ²
TOTAL SITE COVERAGE	935.58 M ²
PLOT RATIO	36.64%
MAX SITE COVERAGE	50%



GFA CALCULATIONS
Scale 1:200 @ A1

GROUND FLOOR GFA AREA

FIRST FLOOR GFA AREA

GFA CALCULATIONS:

SITE AREA	2553.76 M ²
UNIT 1	
GROUND FLOOR	179.92 M ²
UPPER FLOOR	72.63 M ²
UNIT 1 TOTAL GFA	252.54 M ²
UNIT 2	
GROUND FLOOR	179.75 M ²
UPPER FLOOR	72.63 M ²
UNIT 2 TOTAL GFA	252.38 M ²
UNIT 3	
GROUND FLOOR	184.01 M ²
UPPER FLOOR	69.63 M ²
UNIT 3 TOTAL GFA	253.65 M ²
UNIT 4	
GROUND FLOOR	176.58 M ²
UPPER FLOOR	69.63 M ²
UNIT 4 TOTAL GFA	246.21 M ²
TOTAL GFA	1004.78 M ²
PLOT RATIO	39.35 %
MAX PLOT RATIO	40%

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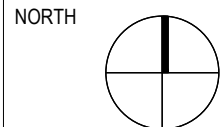
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www.dna.com.au
Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS
REVISION NO. DESCRIPTION DATE
A UNIT 1A ISSUE 10/04/22
B DA ISSUE 10/04/22
C UNIT 1 AMENDMENT 10/04/22
D UNIT 1 & 2 ACADRE CHANGES 30/11/22
E N/A REVISION 30/11/22

DATE: 10/04/22
10/04/22
10/04/22
30/11/22
30/11/22

PROJECT **RUMBLE**
CLIENT **GRAEME RUMBLE**
LAND OWNER **GRAEME RUMBLE**

BLOCK **09**
SECTION **06**
ADDRESS **02 SUMMERS CRES**
SUBURB **FORREST**
STATE **ACT**

DRAWING **SITE COVERAGE AND GFA DIAGRAMS**
SCALE **AS SHOWN**
PRINT DATE **30.11.2022**
DRAWN **RN/MS/AH**

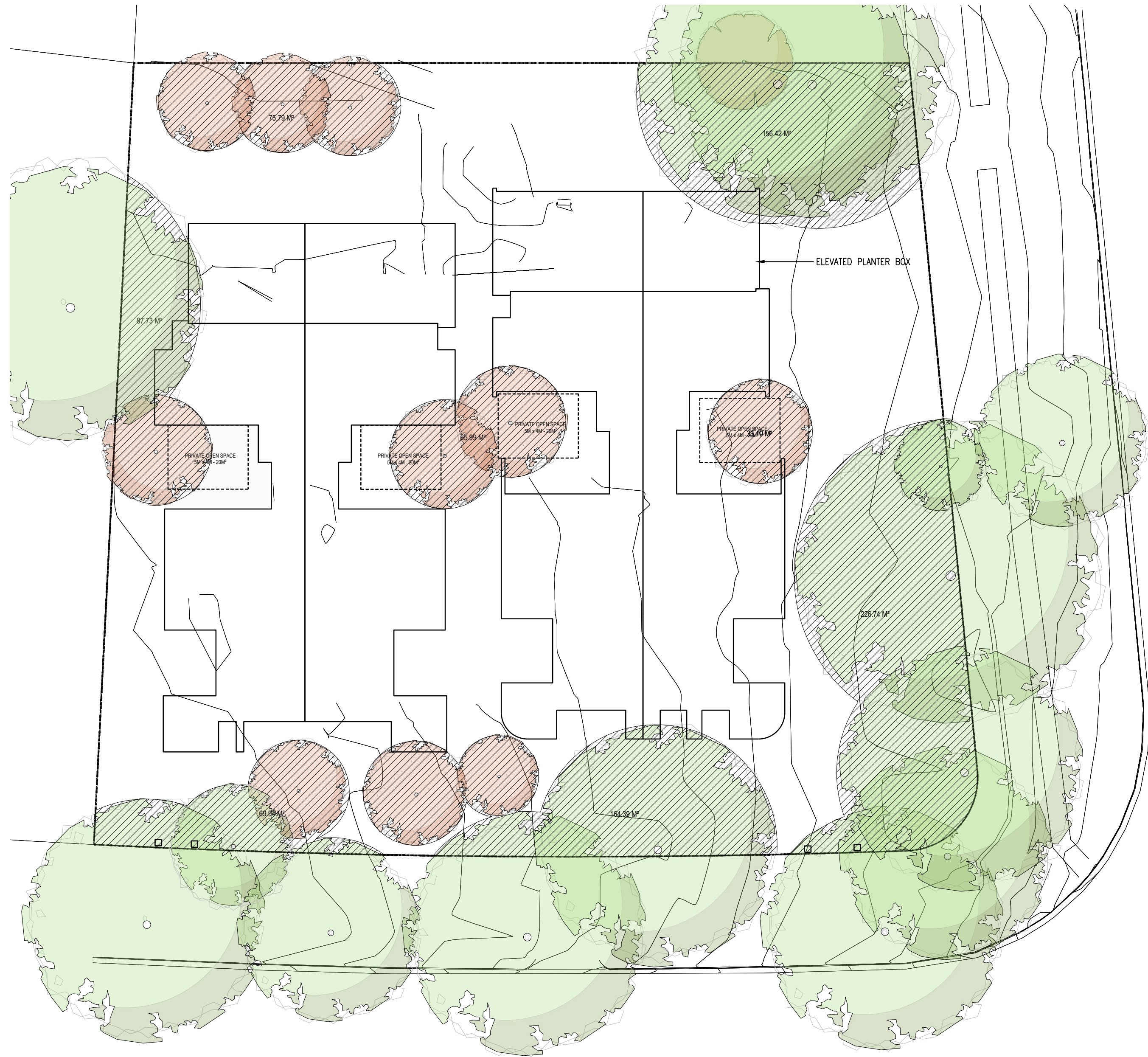
REVISION **E**
REVISION DATE **30.11.22**
PROJECT NO. **2067**
DWS NO. **A104**



LANDSCAPING COVERAGE
Scale 1:200 @ A1

- SOFT LANDSCAPING AREA
- SOFT MULCH ACCESS PATH

LANDSCAPING COVERAGE ANALYSIS:	
SITE AREA	2553.76 M ²
SOFT LANDSCAPING	1025.09 M ²
RATIO	40.14%
MINIMUM LANDSCAPING RATIO	40%



TREE CANOPY COVERAGE
Scale 1:200 @ A1

- TREE CANOPY COVERAGE

TREE CANOPY COVERAGE ANALYSIS:	
SITE AREA	2553.76 M ²
SOFT LANDSCAPING	880.10 M ²
RATIO	34.46%
MINIMUM COVERAGE RATIO	15%

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WITH ALL CONSULTANT INFORMATION.

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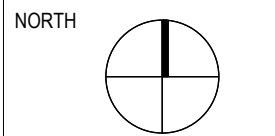
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Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS

REVISION NO.	DATE	DESCRIPTION
A	10/04/22	DATE FOR ISSUE
B	10/04/22	DA ISSUE
C	10/04/22	UNIT 1 AMENDMENT
D	30/09/22	UNIT 1 & 2 PLACED CHANGES
E	30/11/22	NOV REVISION

PROJECT **RUMBLE**

CLIENT **GRAEME RUMBLE**

LAND OWNER **GRAEME RUMBLE**

BLOCK **09**

SECTION **06**

ADDRESS **02 SUMMERS CRES**

SUBURB **FORREST**

STATE **ACT**

DRAWING **LANDSCAPING AND TREE COVERAGE**

SCALE **1:100@A1/1:200@A3**

PRINT DATE **30.11.2022**

DRAWN **RN/MS/AH**

REVISION **E**

REVISION DATE **30.11.22**

PROJECT NO. **2067**

DWG NO. **A105**



GENERAL NOTES:

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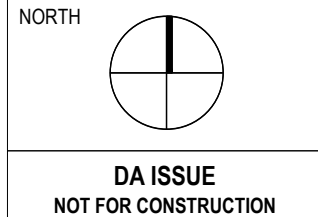
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DA ISSUE
NOT FOR CONSTRUCTION

REVISION
REVISION DATE
PROJECT NO.
DWS NO.

E
30.11.22
2067
A201

GENERAL NOTES:

ALL WORKS ARE TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & ALL RELEVANT AUTHORITY REQUIREMENTS. ALL DIMENSIONS EXPRESSED ON EXISTING SITE CONDITIONS SHALL BE VERIFIED BY THE BALDWIN SITE PRIOR TO THE COMMENCEMENT OF THE WORKS. A REGISTERED SURVEYOR TO SET OUT STRUCTURE & CONFIRM POSITIONS OF ALL RELEVANT BUILDING ENVELOPE SETBACKS & EASEMENTS PRIOR TO THE COMMENCEMENT OF THE WORKS.

ALL TIMBER FRAMING & CONSTRUCTION MUST COMPLY WITH AS1684 THE NATIONAL TIMBER FRAMING CODE. PROVIDE TEMPORARY & PERMANENT BRACING TO ALL FRAMING IN ACCORDANCE WITH THE STANDARD.

ALL CONCRETE SLABS & FOOTINGS ARE SUBJECT TO A SOIL CLASSIFICATION & ARE TO COMPLY WITH ENGINEERS DRAWINGS OR AS2019 RESIDENTIAL SLABS & FOOTINGS CODE INCLUDING ALL RELEVANT REGION SPECIFIC SUPPLEMENTS.

ALL STORM WATER DRAINAGE & SEWERAGE TO BE CONNECTED TO EXISTING SERVICES IN ACCORDANCE WITH THE SCA & ALL LOCAL AUTHORITY REQUIREMENTS OR SELECTED DRAINAGE PUMP OR SEPTIC SYSTEM ALL LINTELS, BEAMS, & SUPPORTS TO BE SPECIFIED BY A REGISTERED ENGINEER OR RELEVANT AUSTRALIAN STANDARDS.

PROVIDE TERMITE CONTROL TO SUB-FLOOR IN ACCORDANCE WITH THE BCA & ALL RELEVANT LOCAL AUTHORITY REQUIREMENTS OR PROVIDE ANY CAPING AND TERMITE BARRIER. THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AT ALL TIMES & NO ELEMENT SHALL BE OVERSTRESSED, DURING & AFTER CONSTRUCTION.

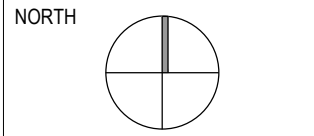
ALL WET AREA FIXTURES SHALL BE TO CLIENT'S SELECTION OR INCLUSIONS LIST.

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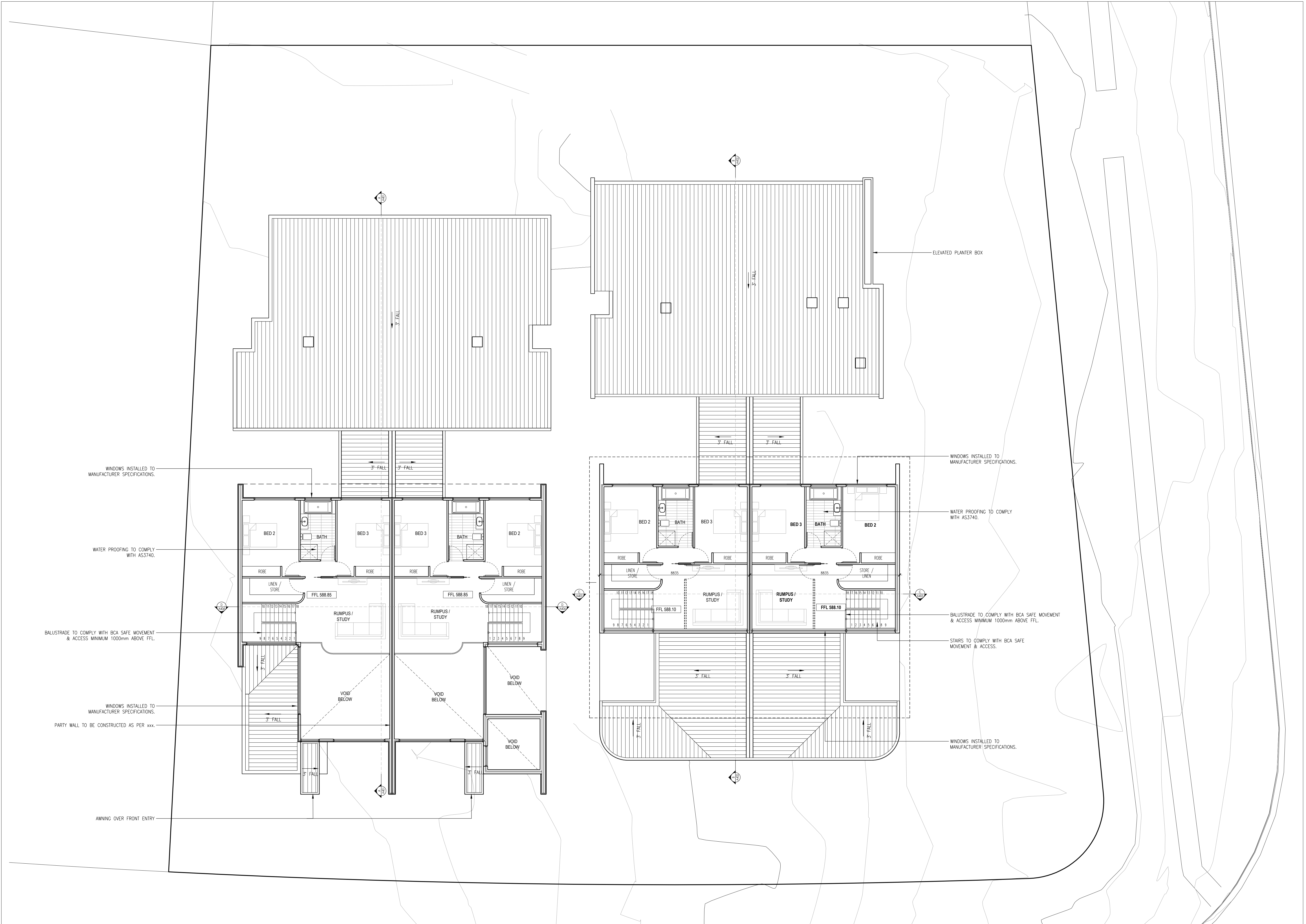


DA ISSUE
NOT FOR CONSTRUCTION

REVISION
REVISION DATE
PROJECT NO.
DWS NO.

E
30.11.22
2067

A202



SUITE 10, 14 LONSDALE ST
BRADDOCK ACT 2612
M: 02 6230 4888
T: 02 6230 4888
www.dna.com.au
Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS
REVISION NO.
A
B
C
D
E

DESCRIPTION
DATE
UNIT 1 AMENDMENT
UNIT 1 & 2 AMENDMENT
N/A REVISION

DATE
10/04/22
10/04/22
10/04/22
20/04/22
20/04/22

PROJECT
CLIENT
LAND OWNER

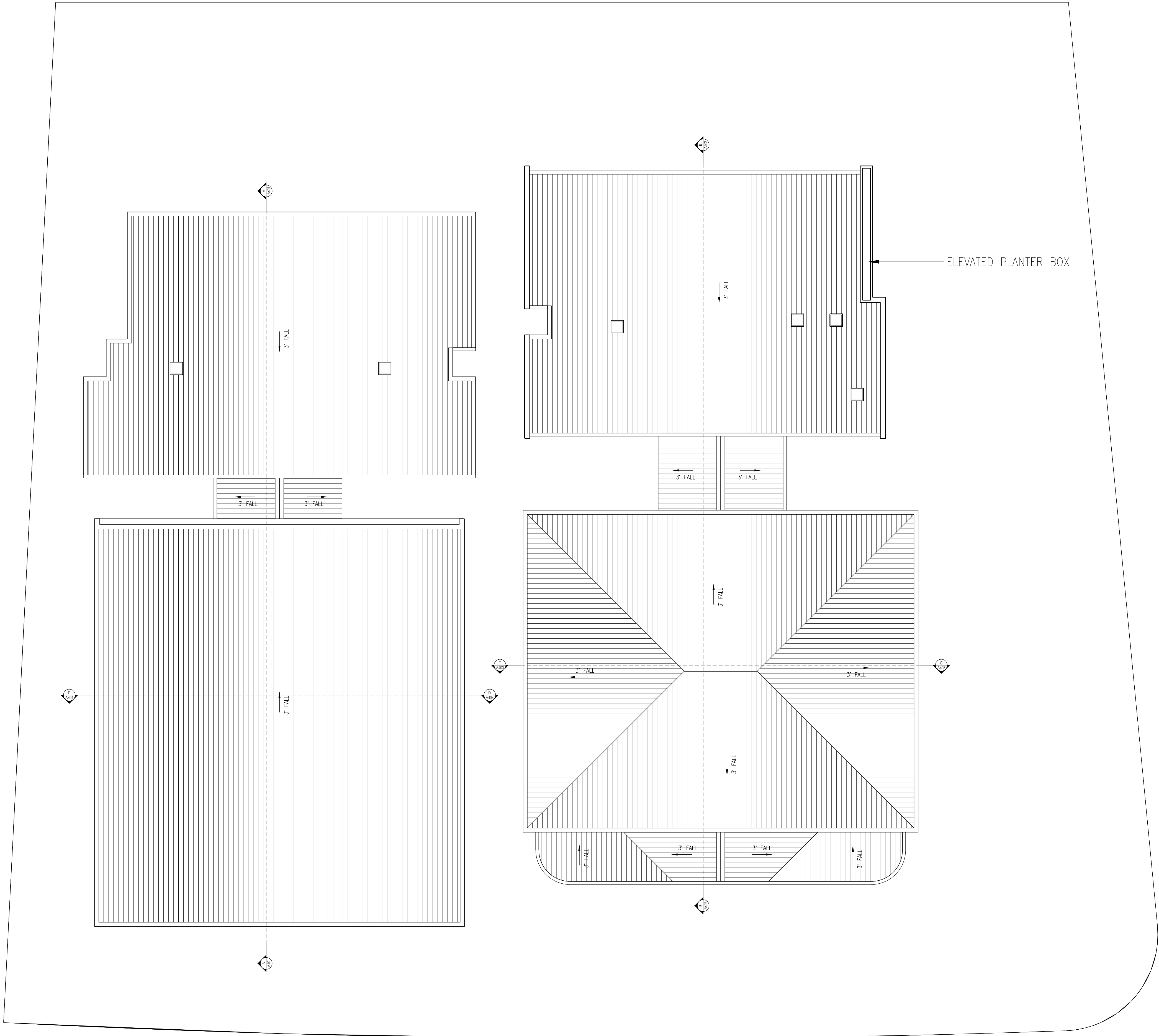
RUMBLE
GRAEME RUMBLE
GRAEME RUMBLE

BLOCK
SECTION
ADDRESS
SUBURB
STATE

09
06
02 SUMMERS CRES
FORREST
ACT

DRAWING
LEVEL 1 FLOOR PLAN
SCALE
PRINT DATE
DRAWN

1:100@A1
30.11.2022
RN/MS/AH



GENERAL NOTES:

ALL WORKS ARE TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & ALL RELEVANT AUTHORITY REQUIREMENTS. ALL DIMENSIONS EXPRESSED ON EXISTING SITE CONDITIONS SHALL BE VERIFIED BY THE SURVEYOR ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS. DO NOT SCALE OFF DRAWING.

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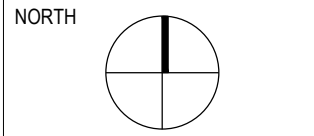
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DA ISSUE
NOT FOR CONSTRUCTION

SUITE 10, 14 LONSDALE ST
BRADDOCK ACT 2612
M: 08 9330 270 522
T: 02 6230 4888
www.dna-act.com.au
Principal Nominee: Glen Dowse
Registration 966



AMENDMENTS	DESCRIPTION	DATE
REVISION NO.	DATE / IN ISSUE	
A	DA ISSUE	10/04/22
B	UNIT 1 AMENDMENT	10/05/22
C	UNIT 1 & 2 PLACER CHANGES	20/05/22
D	NO CHANGE	20/05/22

PROJECT **RUMBLE**

CLIENT **GRAEME RUMBLE**

LAND OWNER **GRAEME RUMBLE**

BLOCK **09**

SECTION **06**

ADDRESS **02 SUMMERS CRES**

SUBURB **FORREST**

STATE **ACT**

DRAWING **ROOF PLAN**

SCALE **1:100@A1**

PRINT DATE **30.11.2022**

DRAWN **RN/MS/AH**

REVISION **E**

REVISION DATE **30.11.22**

PROJECT NO. **2067**

DWG NO **A207**



WT - 1

WALL FINISH 1

FACE BRICK
SELECTED STYLE BRICK - LA PALOMA CASTELLANA OR SIMILAR



WT - 2

WALL FINISH 2

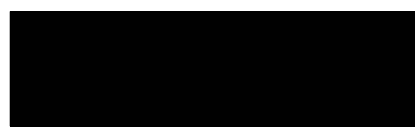
METAL WALL CLADDING
SLECTED PROFILE TO BE CONFIRMED - 'NIGHT SKY' OR SIMILAR



WT - 3

WALL FINISH 3

TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



WT - 4

WALL FINISH 4

RENDERED CLADDING FINISH
SELECTED COLOUR - NIGHT SKY OR SIMILAR



RF - 1

ROOF FINISH 1

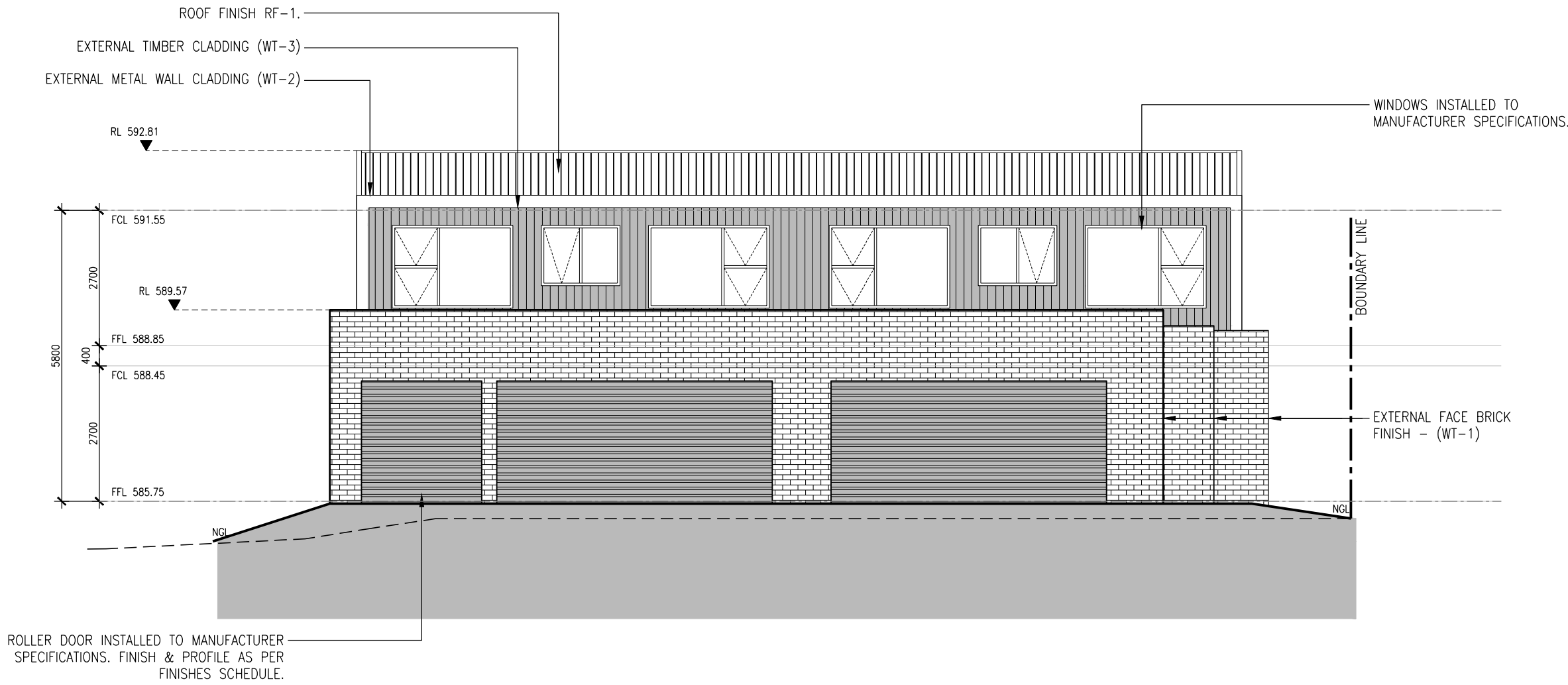
METAL CLADDING
SELECTED PROFILE TO BE CONFIRMED - TRIMDEK WINDSPRAY OR SIMILAR



TS - 1

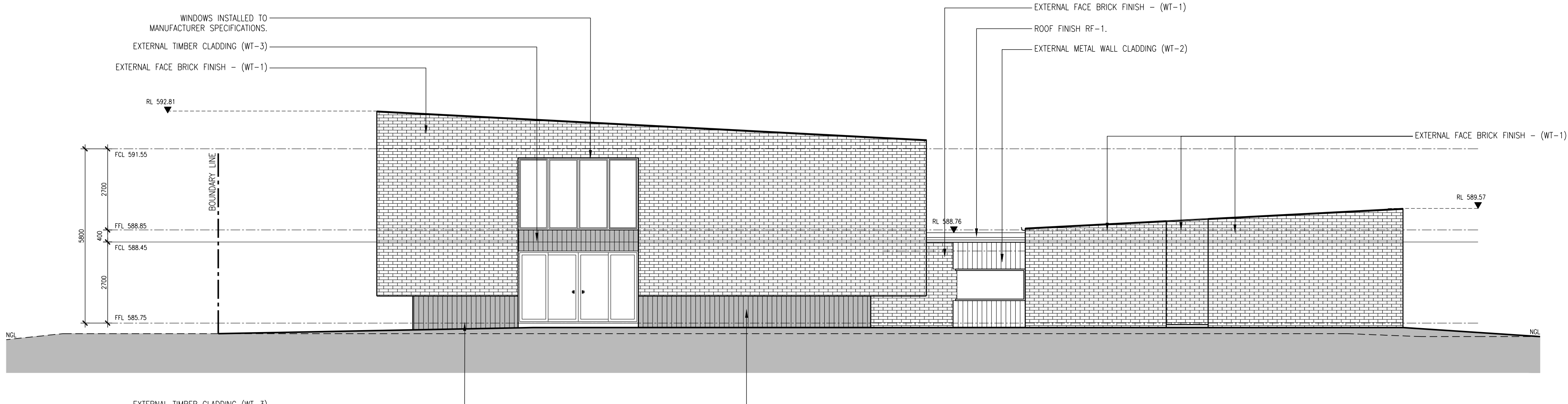
TIMBER SCREEN ELEMENT

TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



NORTH ELEVATION

Scale 1:100 @ A1



EAST ELEVATION

Scale 1:100 @ A1

GENERAL NOTES:

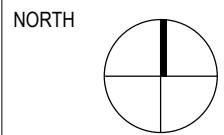
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DA DRAFT APPLICATION
NOT FOR CONSTRUCTION

SUITE 10, 14 LONSDALE ST
BENDIGO VIC 321
ABN: 17 600 270 522
T: 05 5235 6888
www.dna.com.au
Principal Nominee: Glen Downes
Registration 966



AMENDMENTS
A
B
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Q
R
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X
Y
Z

DESCRIPTION
DRAFT DA ISSUE
DA ISSUE
UNIT 1 AMENDMENT
UNIT 1 & 2 SQUARE CHANGES
NCA REVIEWING
NCA REVISIONS

DATE
12/04/22
08/05/22
09/07/22
28/07/22
29/07/22
12/12/22

PROJECT
CLIENT
LAND OWNER
RUMBLE
GRAEME RUMBLE
GRAEME RUMBLE

BLOCK
SECTION
ADDRESS
SUBURB
STATE
09
06
02 SUMMERS CRES
FORREST
ACT

DRAWING
SCALE
PRINT DATE
DRAWN
ELEVATIONS 1
1:100@A1
30.11.2022
RN/MS/AH

REVISION
REVISION DATE
PROJECT NO.
DWG NO.
F
12.12.22
2292
A301



WT - 1

WALL FINISH 1
FACE BRICK
SELECTED STYLE BRICK - LA PALOMA CASTELLANA OR SIMILAR



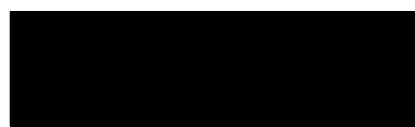
WT - 2

WALL FINISH 2
METAL WALL CLADDING
SLECTED PROFILE TO BE CONFIRMED - 'NIGHT SKY' OR SIMILAR



WT - 3

WALL FINISH 3
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



WT - 4

WALL FINISH 4
RENDERED CLADDING FINISH
SELECTED COLOUR - NIGHT SKY OR SIMILAR



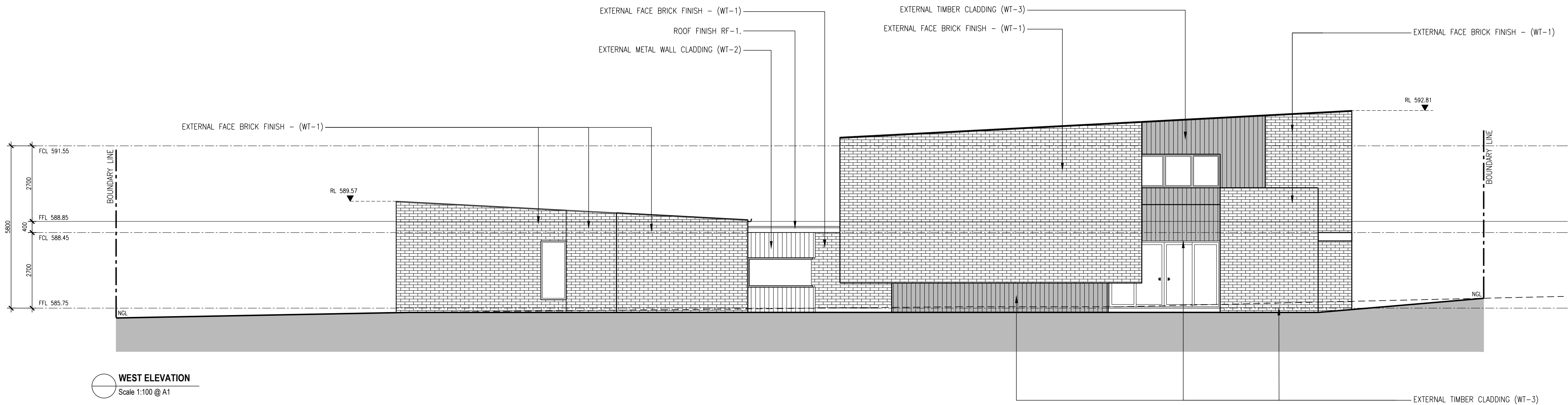
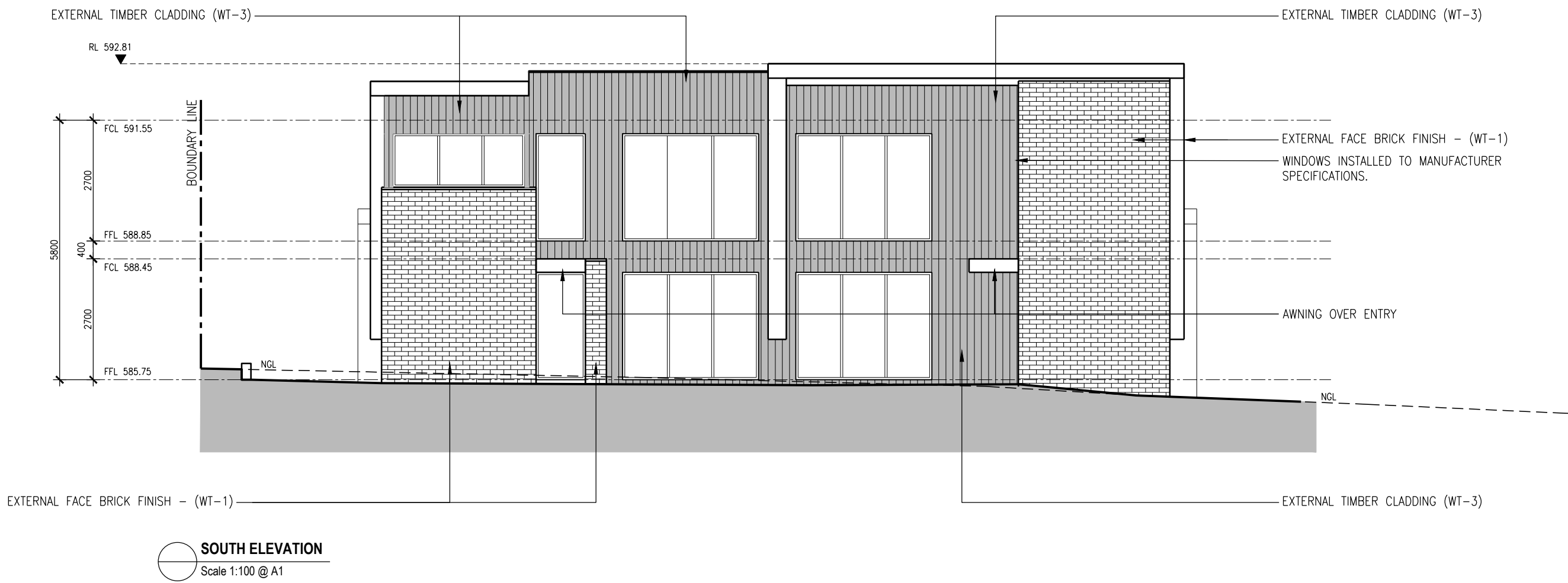
RF - 1

ROOF FINISH 1
METAL CLADDING
SELECTED PROFILE TO BE CONFIRMED - TRIMDEK WINDSPRAY OR SIMILAR



TS - 1

TIMBER SCREEN ELEMENT
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



GENERAL NOTES:

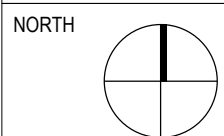
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DA DRAFT APPLICATION
NOT FOR CONSTRUCTION

SUITE 10, 14 LONSDALE ST
BRISBANE Q.C.T. 4002
ABN: 17 600 270 522
T: 07 5235 6888
www.dna.com.au
Principal Norwood Glen Dwyer
Registration 966



AMENDMENTS
REVISIONS

DESCRIPTION
DRAFT DA ISSUE
DA ISSUE
UNIT 1 AMENDMENT
UNIT 1 & 2 STAIRCASE CHANGES
NCA REVISIONS
NCA REVISIONS

DATE
12/04/22
18/05/22
09/07/22
28/07/22
30/11/22
12/12/22

PROJECT **RUMBLE**
CLIENT **GRAEME RUMBLE**
LAND OWNER **GRAEME RUMBLE**

BLOCK **09**
SECTION **06**
ADDRESS **02 SUMMERS CRES**
SUBURB **FORREST**
STATE **ACT**

DRAWING
SCALE **ELEVATIONS 2**
REVISION DATE **1:100@A1**
PRINT DATE **30.11.2022**
DRAWN **RN/MS/AH**

REVISION **F**
REVISION DATE **12.12.22**
PROJECT NO. **2292**
DWG NO. **A302**



WT - 1

WALL FINISH 1
FACE BRICK
SELECTED STYLE BRICK - LA PALOMA CASTELLANA OR SIMILAR



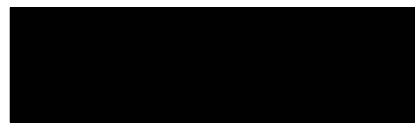
WT - 2

WALL FINISH 2
METAL WALL CLADDING
SLECTED PROFILE TO BE CONFIRMED - 'NIGHT SKY' OR SIMILAR



WT - 3

WALL FINISH 3
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



WT - 4

WALL FINISH 4
RENDERED CLADDING FINISH
SELECTED COLOUR - NIGHT SKY OR SIMILAR



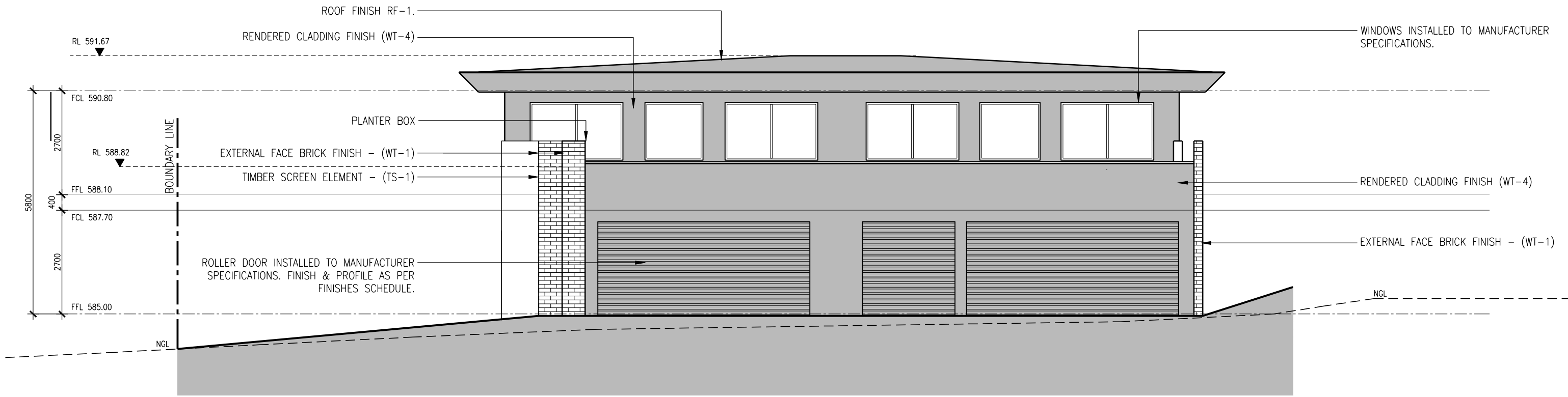
RF - 1

ROOF FINISH 1
METAL CLADDING
SELECTED PROFILE TO BE CONFIRMED - TRIMDEK WINDSPRAY OR SIMILAR

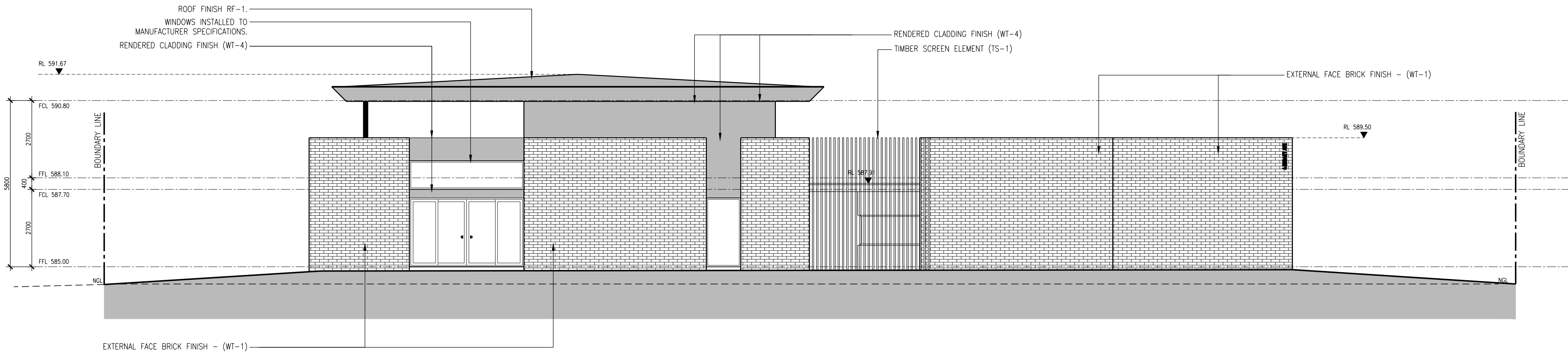


TS - 1

TIMBER SCREEN ELEMENT
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



NORTH ELEVATION
Scale 1:100 @ A1



EAST ELEVATION
Scale 1:100 @ A1

GENERAL NOTES:

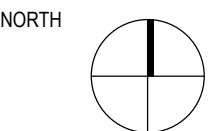
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DA DRAFT APPLICATION
NOT FOR CONSTRUCTION

SUITE 10, 14 LONSDALE ST
BROADBENT VIC 3170
ABN: 17 600 270 522
T: 03 9235 6888
www.dna.com.au
Principal Nominee: Glen Downes
Registration 966



AMENDMENTS
REVISIONS

DESCRIPTION
DRAFT DA ISSUE
DA ISSUE
UNIT 1 AMENDMENT
UNIT 1 & 2 REVISIONS
NCA REVISIONS

DATE
12/04/22
18/05/22
09/07/22
28/07/22
01/11/22
12/12/22

PROJECT **RUMBLE**
CLIENT **GRAEME RUMBLE**
LAND OWNER **GRAEME RUMBLE**

BLOCK **09**
SECTION **06**
ADDRESS **02 SUMMERS CRES**
SUBURB **FORREST**
STATE **ACT**

DRAWING **ELEVATIONS 3**
SCALE **1:100@A1**
PRINT DATE **30.11.2022**
DRAWN **RN/MS/AH**

REVISION **F**
REVISION DATE **13.12.22**
PROJECT NO. **2292**
DWG NO. **A303**



WT - 1

WALL FINISH 1
FACE BRICK
SELECTED STYLE BRICK - LA PALOMA CASTELLANA OR SIMILAR



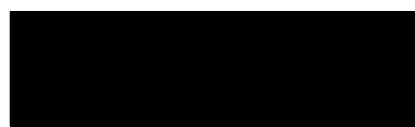
WT - 2

WALL FINISH 2
METAL WALL CLADDING
SLECTED PROFILE TO BE CONFIRMED - 'NIGHT SKY' OR SIMILAR



WT - 3

WALL FINISH 3
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



WT - 4

WALL FINISH 4
RENDERED CLADDING FINISH
SELECTED COLOUR - NIGHT SKY OR SIMILAR



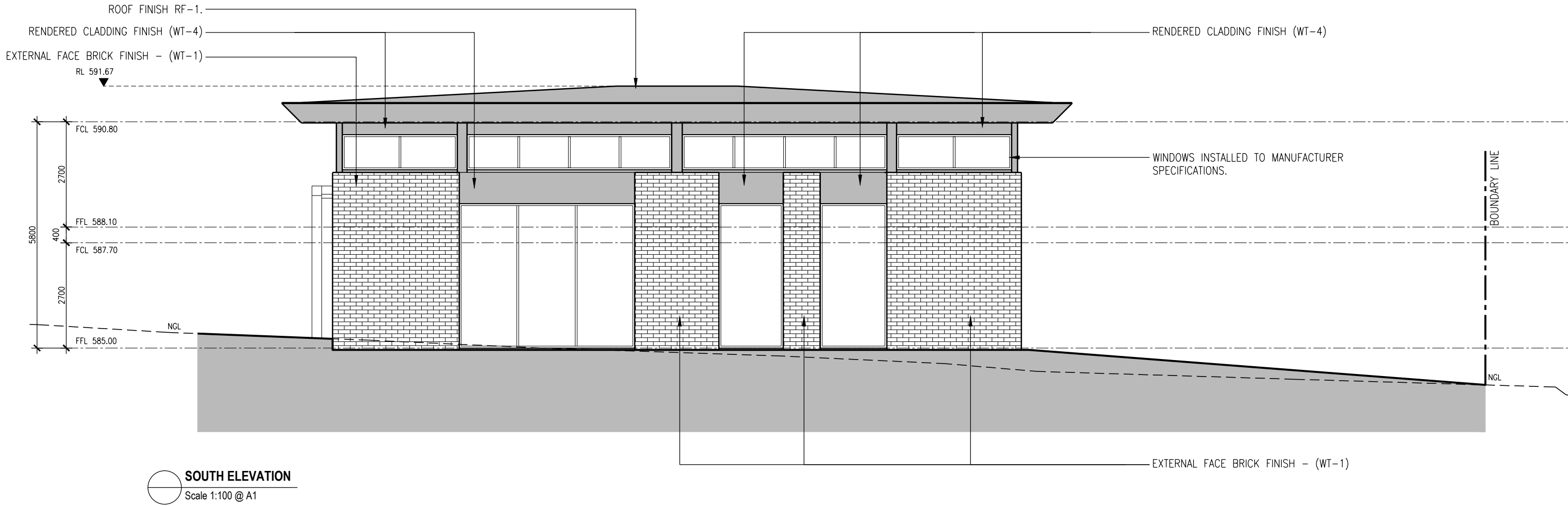
RF - 1

ROOF FINISH 1
METAL CLADDING
SELECTED PROFILE TO BE CONFIRMED - TRIMDEK WINDSPRAY OR SIMILAR

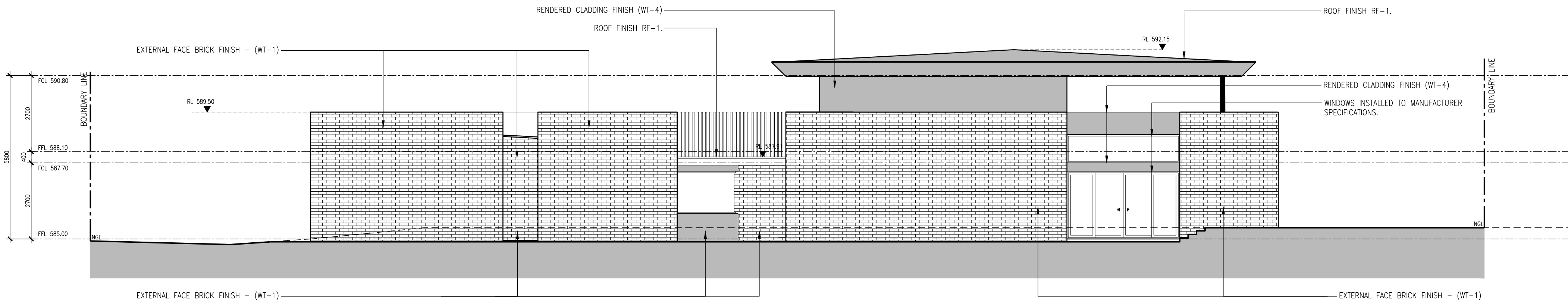


TS - 1

TIMBER SCREEN ELEMENT
TIMBER FINISH
CHARRED TIMBER VERTICAL - CHARCOL OR SIMILAR



SOUTH ELEVATION
Scale 1:100 @ A1



WEST ELEVATION
Scale 1:100 @ A1

GENERAL NOTES:

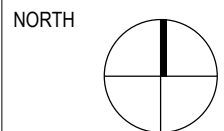
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DA DRAFT APPLICATION
NOT FOR CONSTRUCTION

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Principal Norwood Glen Dowse
Registration 966



AMENDMENTS
REVISIONS
A
B
C
D
E
F

DESCRIPTION
DRAFT DA ISSUE
DA ISSUE
UNIT 1 AMENDMENT
UNIT 2 & 3 AMENDMENTS
NCA REVISIONS
NCA REVISIONS

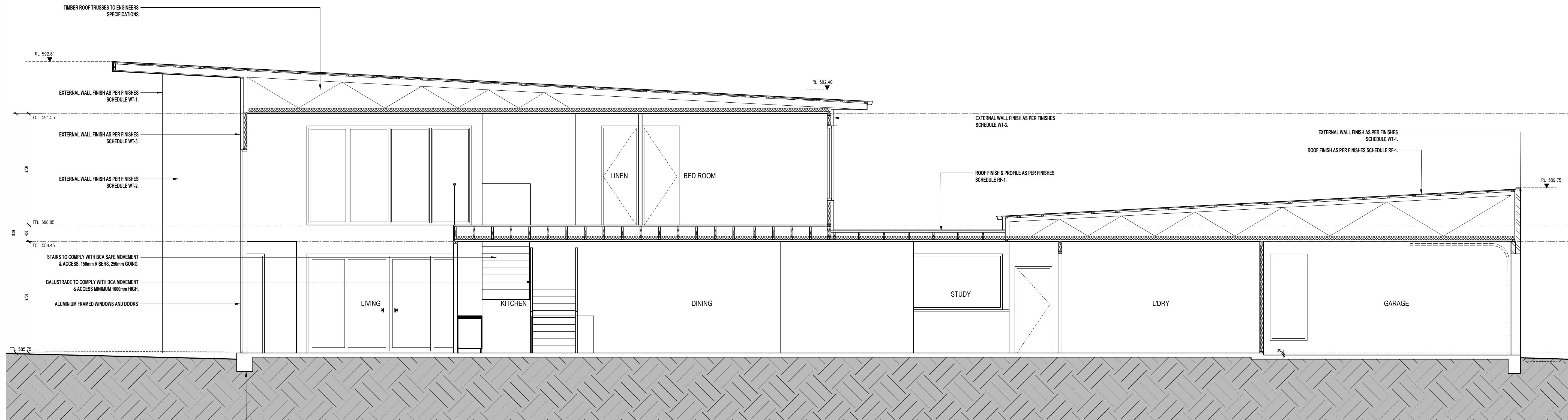
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12/04/22
18/05/22
09/07/22
28/07/22
01/11/22
12/12/22

PROJECT **RUMBLE**
CLIENT **GRAEME RUMBLE**
LAND OWNER **GRAEME RUMBLE**

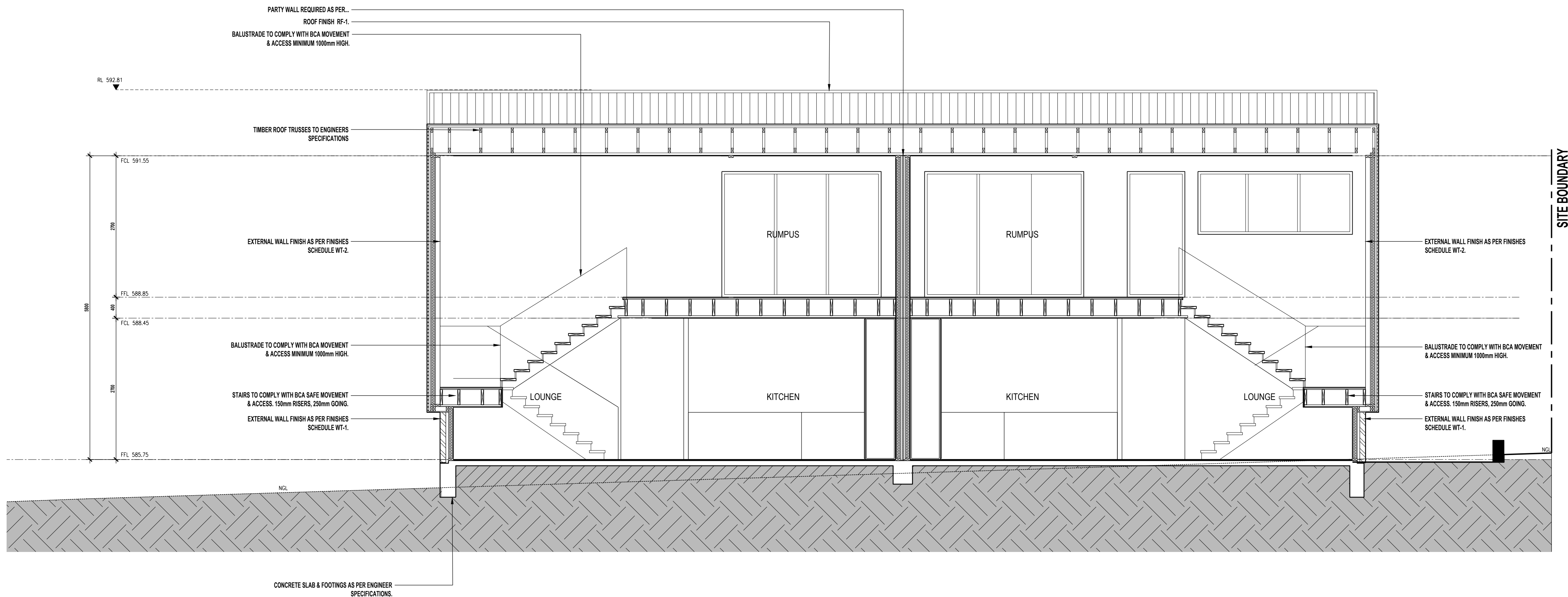
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SECTION **06**
ADDRESS **02 SUMMERS CRES**
SUBURB **FORREST**
STATE **ACT**

DRAWING **ELEVATIONS 4**
SCALE **1:100@A1**
PRINT DATE **30.11.2022**
DRAWN **RN/MS/AH**

REVISION **F**
REVISION DATE **13.12.22**
PROJECT NO. **2292**
DWG NO. **A304**



SECTION A
Scale 1:50 @ A1



SECTION D
Scale 1:50 @ A1

GENERAL NOTES:

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DA ISSUE
NOT FOR CONSTRUCTION

SUITE 10, 14 LONGDALE ST
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ABN: 17 600 270 522
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www.dna.com.au
Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS
REVISION NO. DESCRIPTION
A DRAFT DA ISSUE
B DA ISSUE
C UNIT 1.2.2 PLANNING CHANGES
D RCM REVISIONS

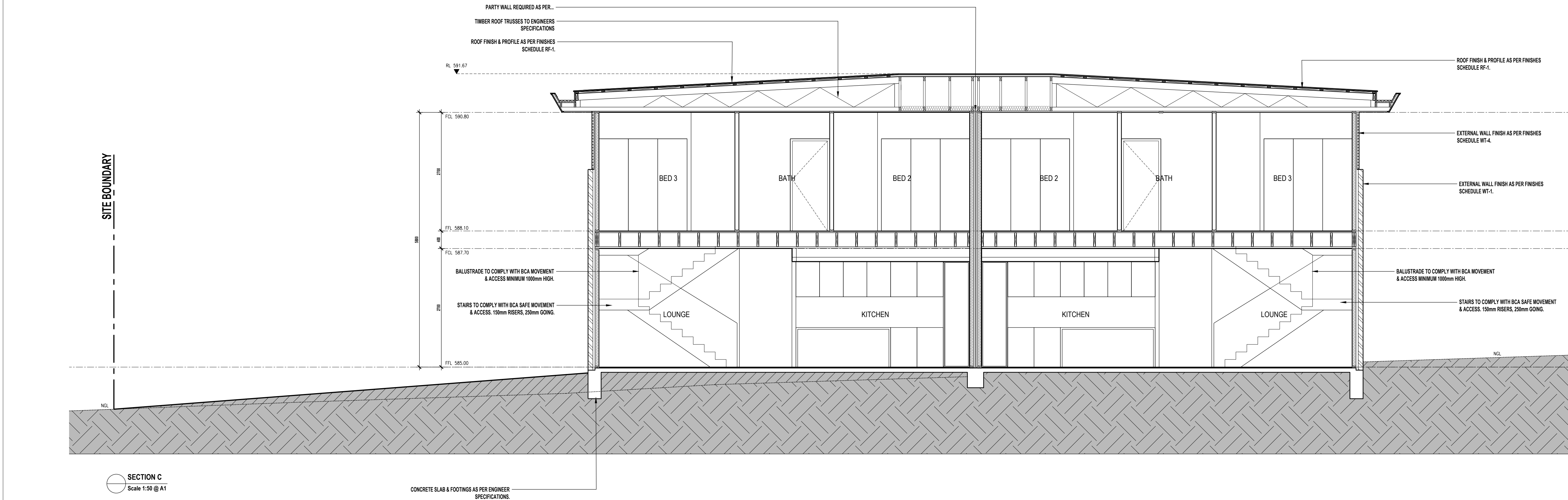
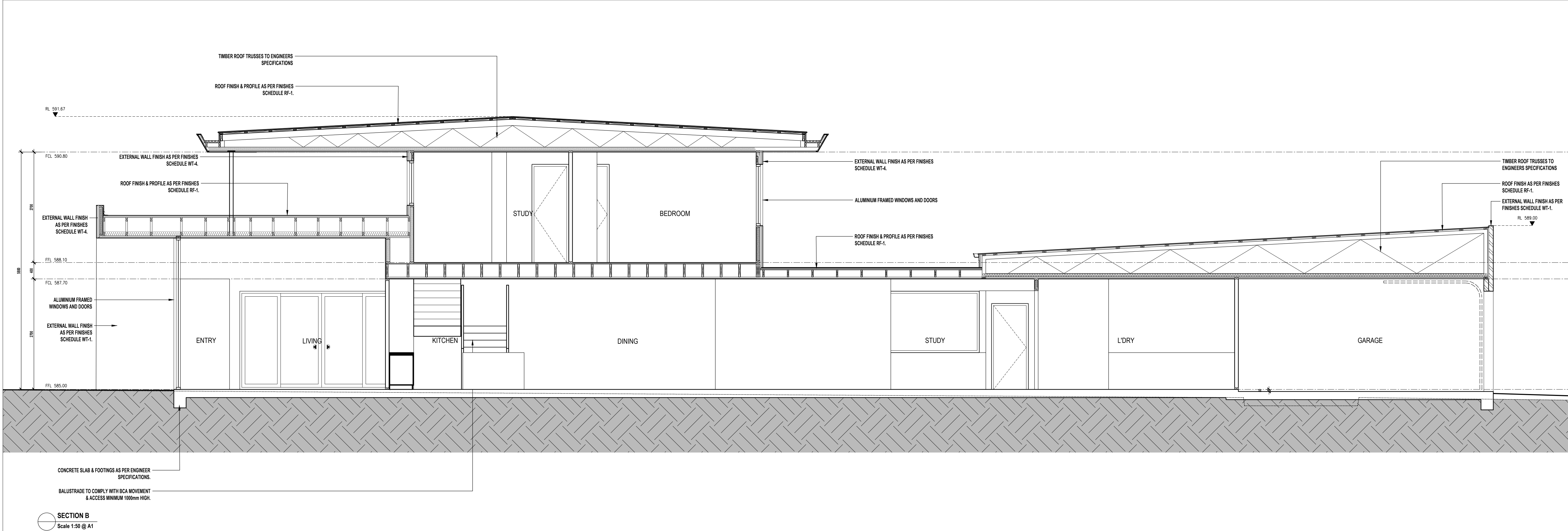
DATE
12/04/22
18/05/22
09/07/22
28/07/22
30/11/22

PROJECT **RUMBLE**
CLIENT **GRAEME RUMBLE**
LAND OWNER **GRAEME RUMBLE**

BLOCK **09**
SECTION **06**
ADDRESS **02 SUMMERS CRES**
SUBURB **FORREST**
STATE **ACT**

DRAWING **SECTION A**
SCALE **1:50@A1**
PRINT DATE **30.11.2022**
DRAWN **RN/MS/AH**

REVISION **E**
REVISION DATE **30.11.22**
PROJECT NO. **2067**
DWG NO. **A401**



GENERAL NOTES:

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Principal: Norman Glen Dwyer
Registration: 966



AMENDMENTS
REVISION NO
DESCRIPTION
DATE

DATE

PROJECT
CLIENT
LAND OWNER

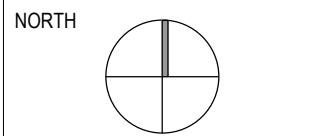
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SECTION
ADDRESS
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DRAWING
REVISION DATE
SCALE
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REVISION
REVISION DATE
PROJECT NO
DWG NO

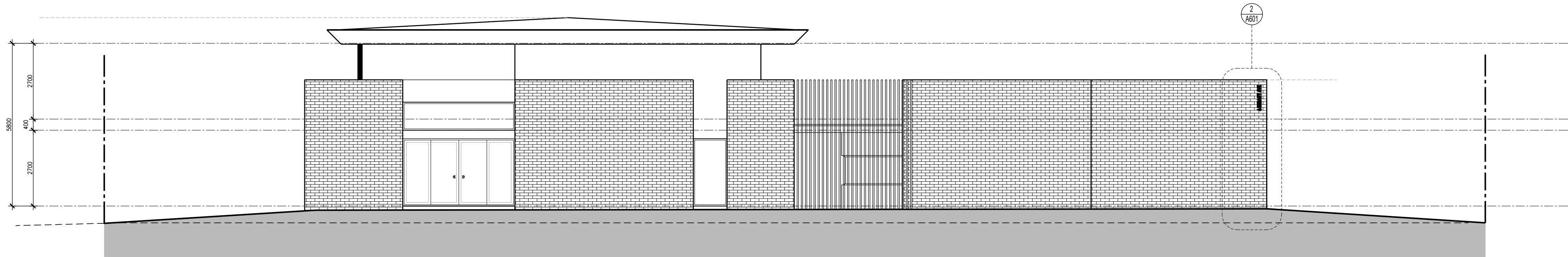
A402

GENERAL NOTES:
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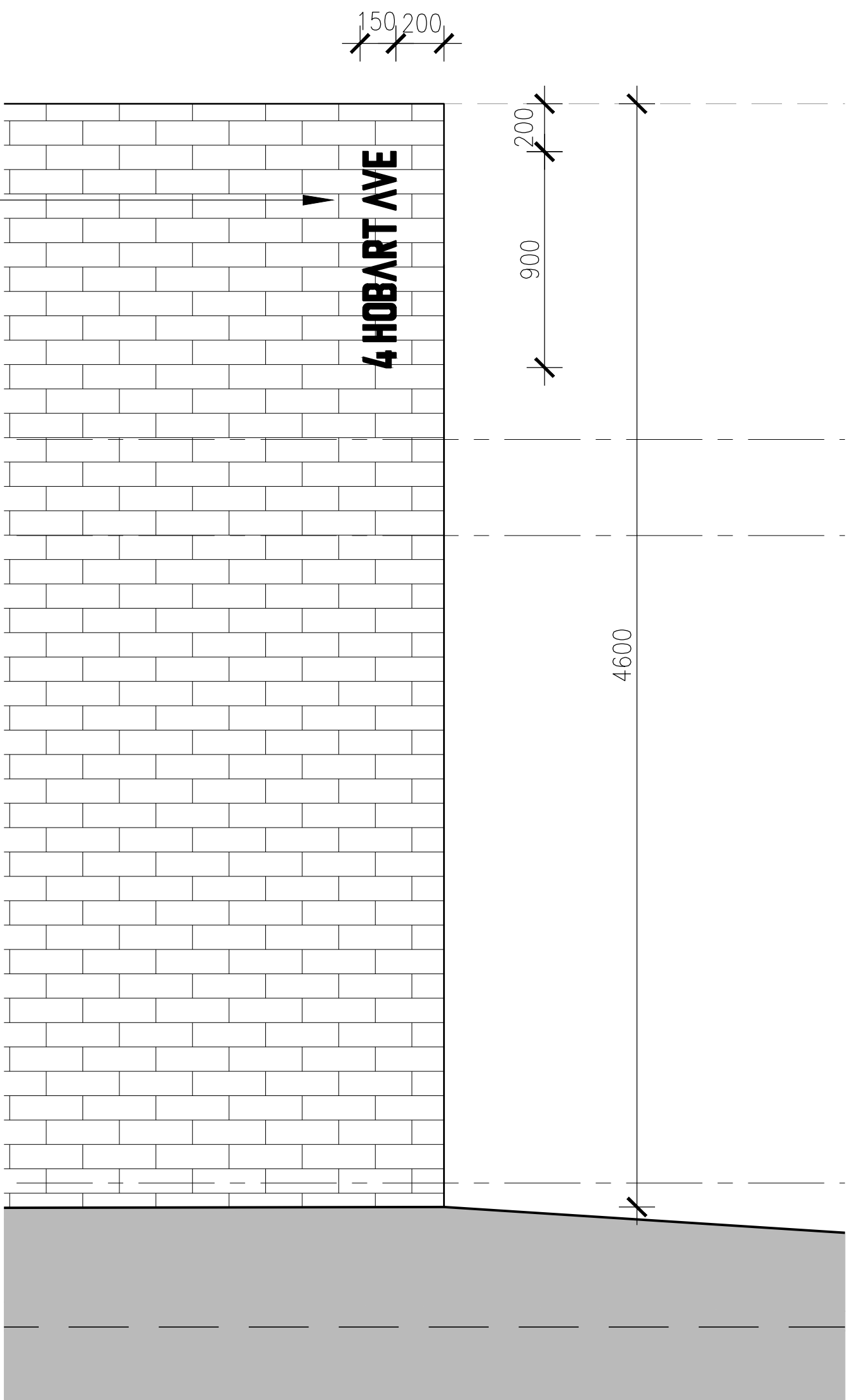
DA DRAFT APPLICATION
NOT FOR CONSTRUCTION

REVISION
REVISION DATE
PROJECT NO.
DWS NO.
F
12.12.22
2292
A601



EAST ELEVATION - UNITS 3 & 4
Scale 1:100 @ A1

POWDERCOATED METAL SIGNAGE TO
MANUFACTURERS SPECIFICATIONS.
NO ILLUMINATION TO SIGN.



SIGNAGE DETAIL
Scale 1:20 @ A1

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Principal: Norman Glen Dowse
Registration: 966



AMENDMENTS
REVISION NO.
A
B
C
D
E
F

DESCRIPTION
DRAFT ON ISSUE
DA ISSUE
UNIT 1 AMENDMENT
UNIT 1 & 2 PLACED CHANGES
NCA REVISIONS
NCA REVISIONS

DATE
10/04/22
18/05/22
18/05/22
20/05/22
20/05/22
12/12/22

PROJECT
CLIENT
LAND OWNER
RUMBLE
GRAEME RUMBLE
GRAEME RUMBLE

BLOCK
SECTION
ADDRESS
SUBURB
STATE
09
06
02 SUMMERS CRES
FORREST
ACT

DRAWING
SCALE
PRINT DATE
DRAWN
SIGNAGE DETAILS
AS SHOWN
30.11.2022
RN/MS/AH



VIEW 1 - UNITS 1 & 2 ENTRY FACADE (SOMERS CRESCENT)
NTS



VIEW 2 - UNITS 3 & 4 ENTRY FACADE (SOMERS CRESCENT)
NTS



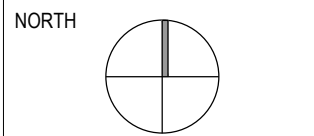
VIEW 3 - UNITS 3 & 4 SIDE FACADE (HOBART AVENUE)
NTS



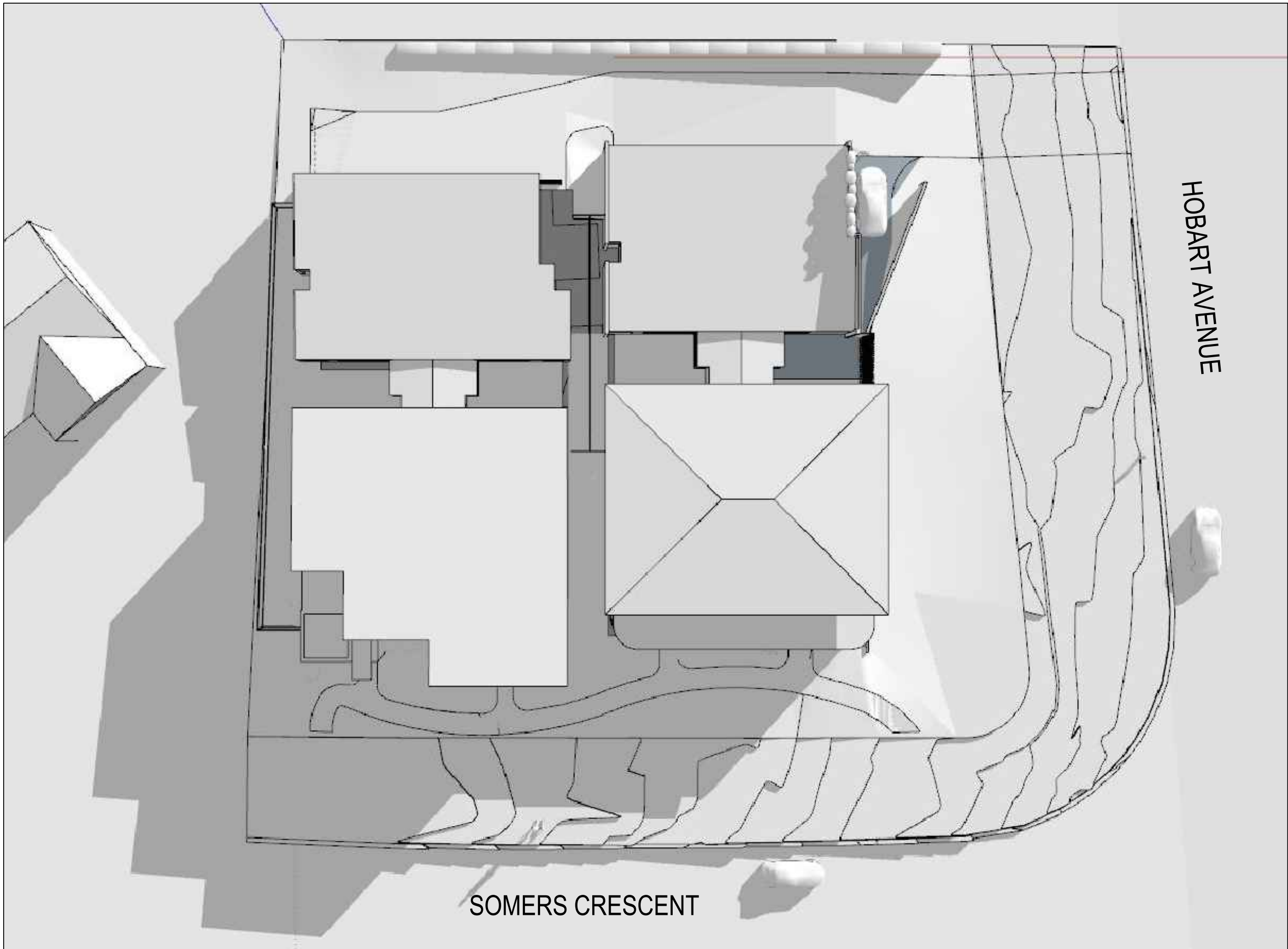
VIEW 4 - UNITS 3 & 4 REAR FACADE (HOBART AVENUE)
NTS

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ALL LOT/RAIN WATER DRAINAGE & SEWERAGE TO BE CONNECTED TO EXISTING SERVICES IN ACCORDANCE WITH THE SCA & ALL LOCAL AUTHORITY REQUIREMENTS OR SELECTED DRAINWATER PUMP OR SEPTIC SYSTEM ALL LINTELS, BEAMS, & SUPPORTS TO BE SPECIFIED BY A REGISTERED ENGINEER OR RELEVANT AUSTRALIAN STANDARDS.
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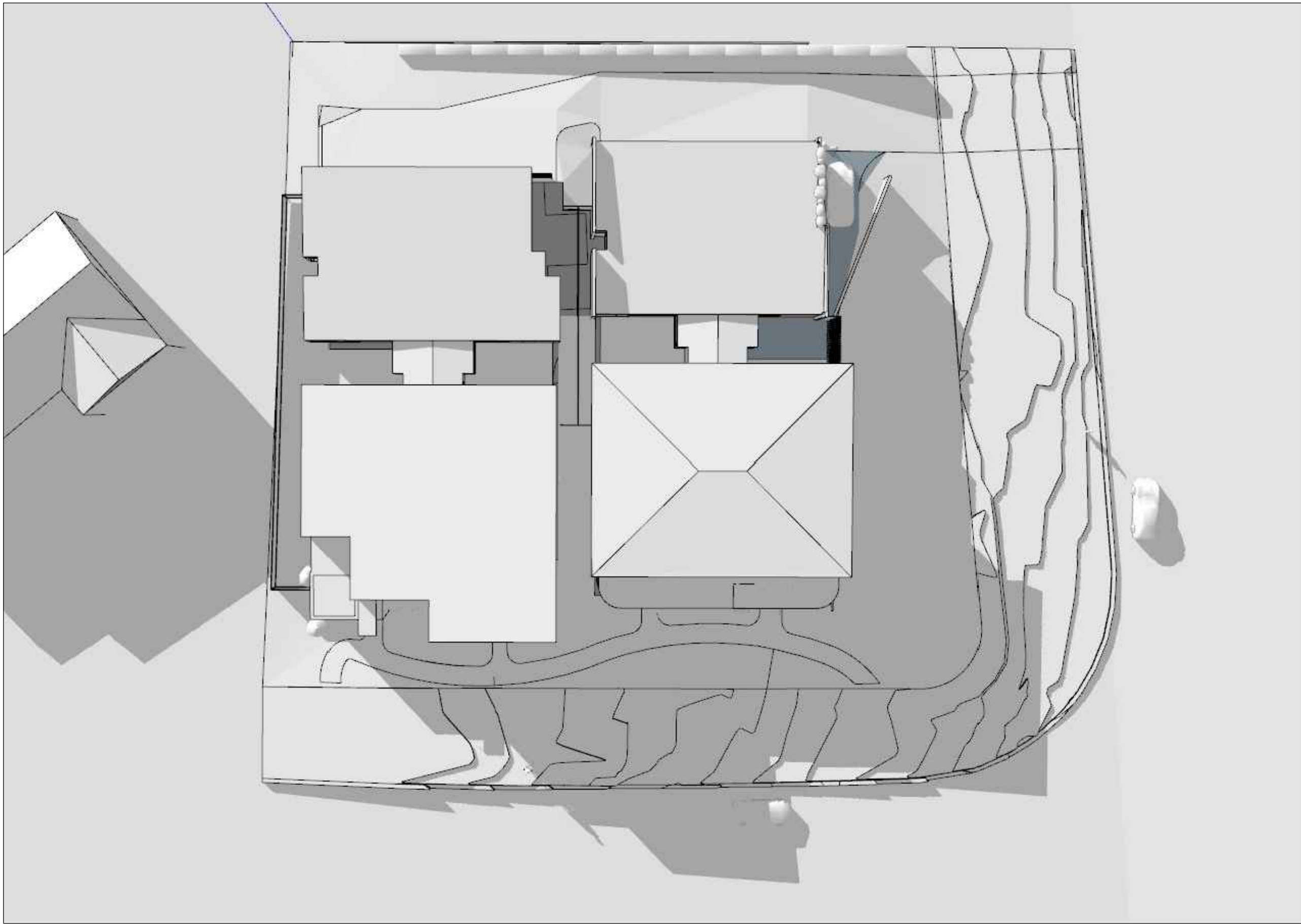
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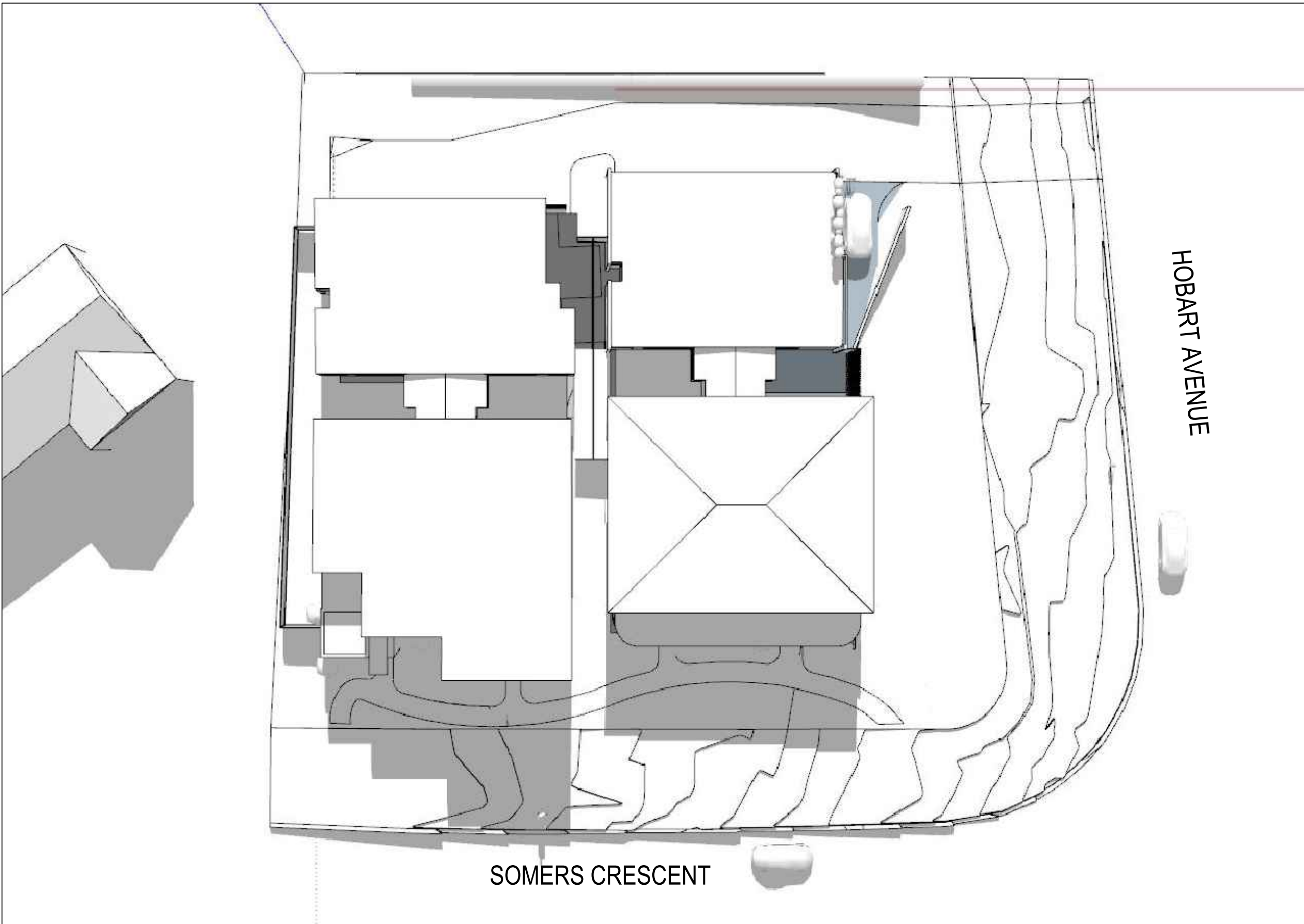
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WINTER SOLSTICE - 22ND JUNE 09:00AM
Shadow Diagram NTS

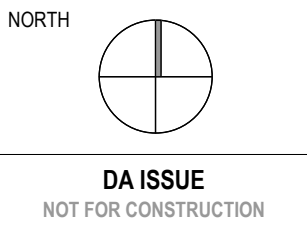


WINTER SOLSTICE - 22ND JUNE 3:00PM
Shadow Diagram NTS



WINTER SOLSTICE - 22ND JUNE 12:00PM
Shadow Diagram NTS

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