

LEGEND

- tree canopy areas
- softscape areas
- building
- hardscape areas

AREAS

AREAS			
SECTIONS	SIZE	unit	% OF BLOCK SIZE
TREE CANOPY	418.2	m²	30%
PLANTED AREA	731	m²	53%
GRASS	132	m²	9%
BUILDING	108	m²	8%
HARDSCAPE AREA	419.5	m²	30%
TOTAL AREA OF SOFTSCAPE			62%
BLOCK SIZE	1390.5	m²	100%

REV.	DESCRIPTION	DRAWN	APPROVED	DATE
A	FOR REVIEW	HJ	KH	06 JUL 23
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

HARRIS HOBBS

LANDSCAPES

Landscape Architect

16 ROBE STREET
DEAKIN ACT 2600
p +61 2 6273 4661
e hhl@hhl.com.au
w www.hhl.com.au

Harris Hobbs Landscapes acknowledges the Ngurnawal people, the traditional custodians of the land on which we live, work, rest and play.

SCALE @ A3
1:200

0

1

2

3

4

5

6

7

8

9

10m

DATE
JULY 2023

CLIENT
DIVYA SHARMA & ADRAIN BURTON

PROJECT
11 TALBOT ST, FORREST

DRAWING TITLE
AREAS

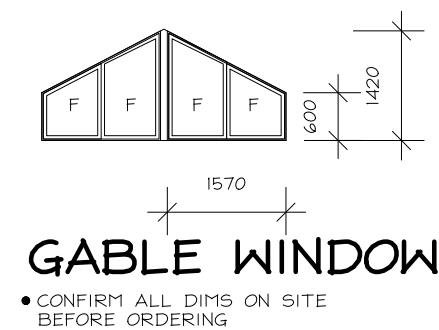
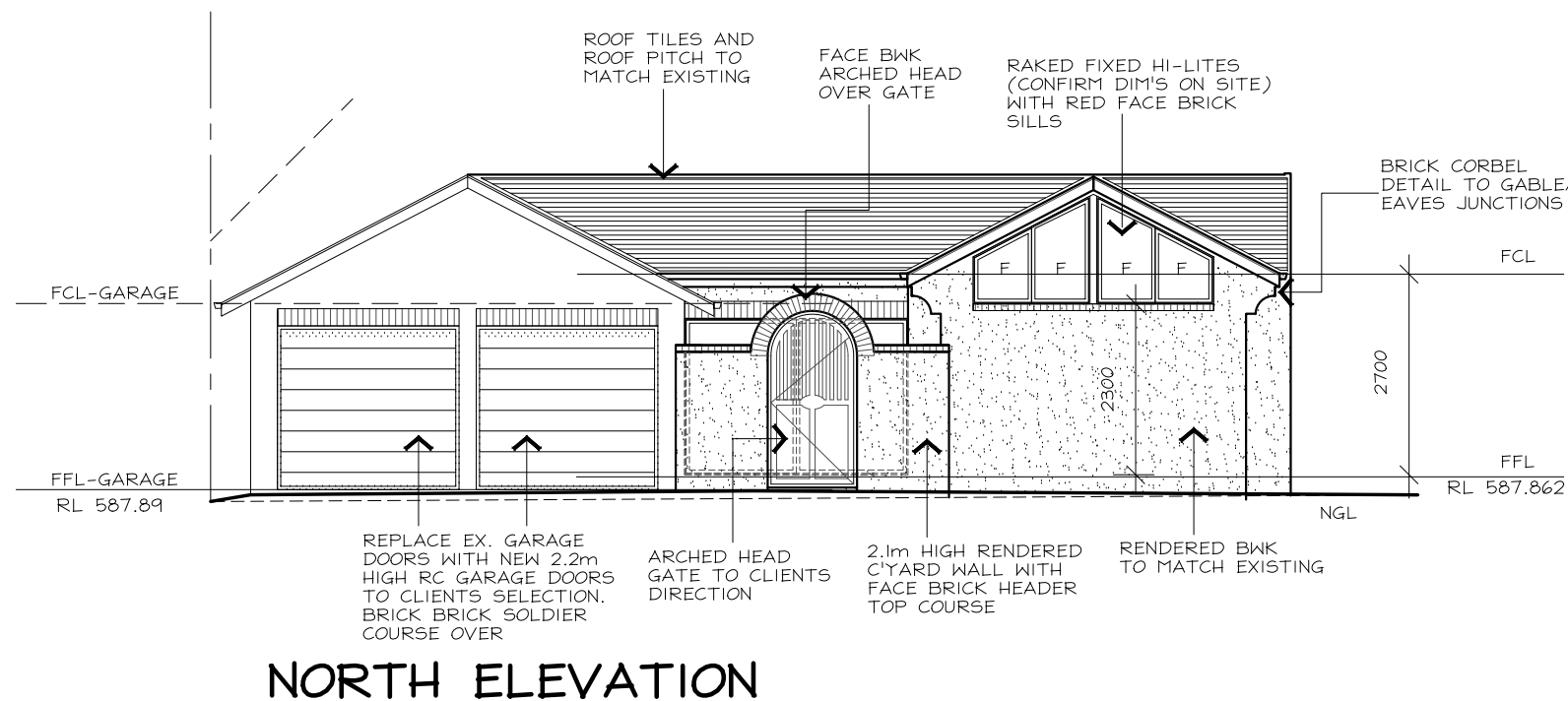
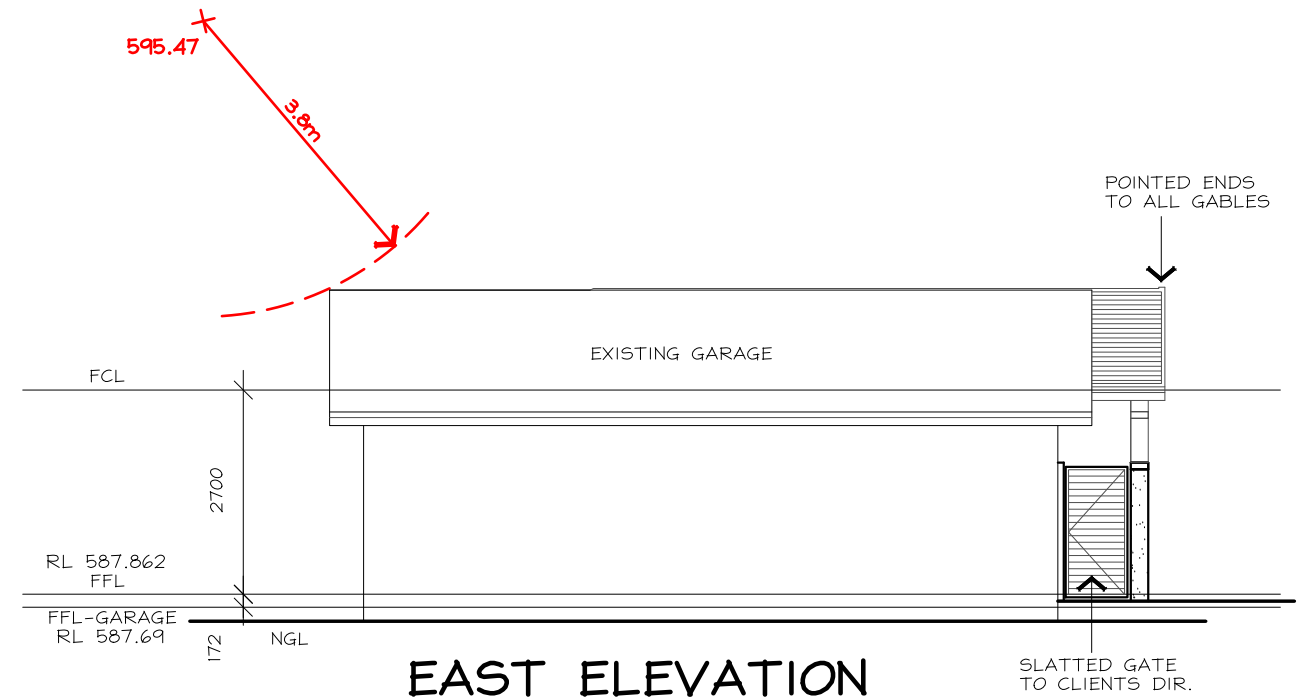
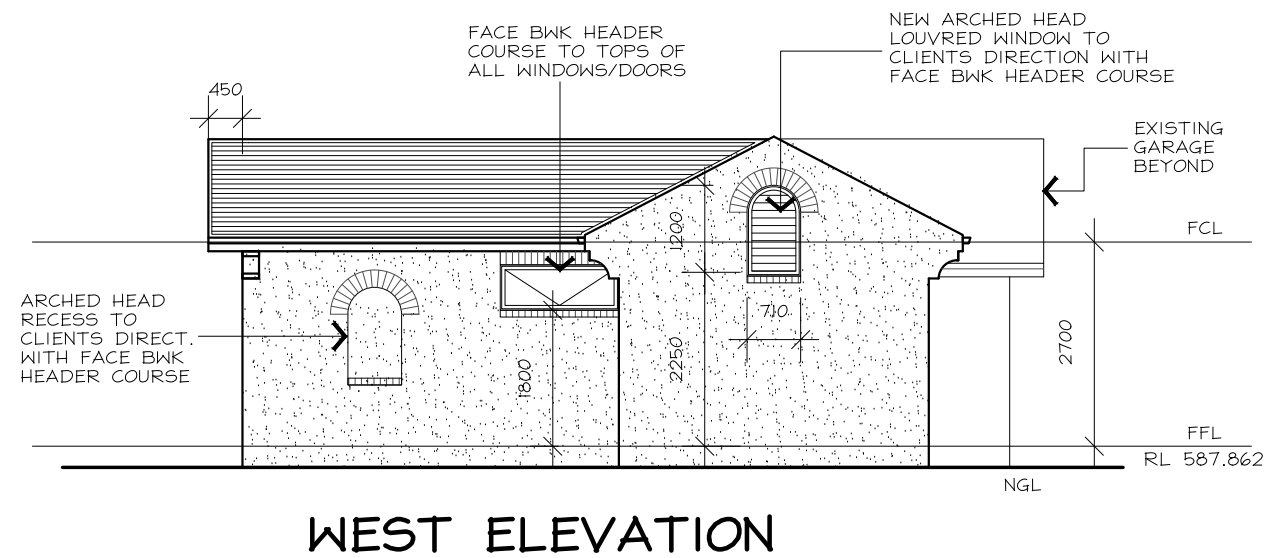
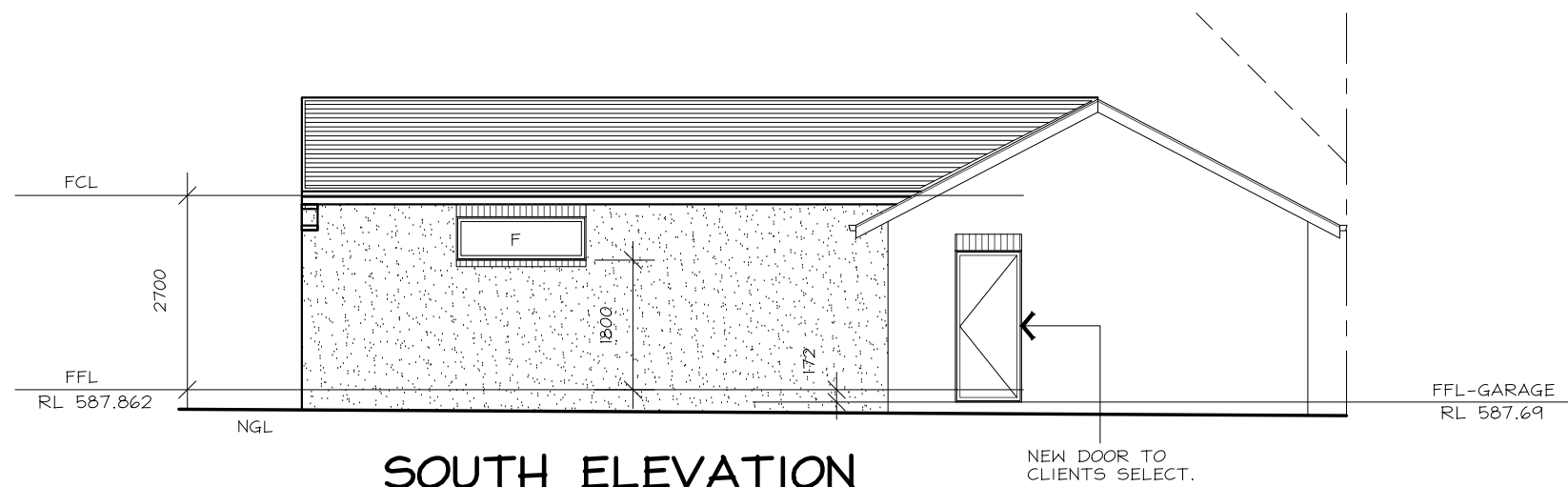
STATUS
FOR REVIEW

N

JOB
23031

REV
A

DWG
302



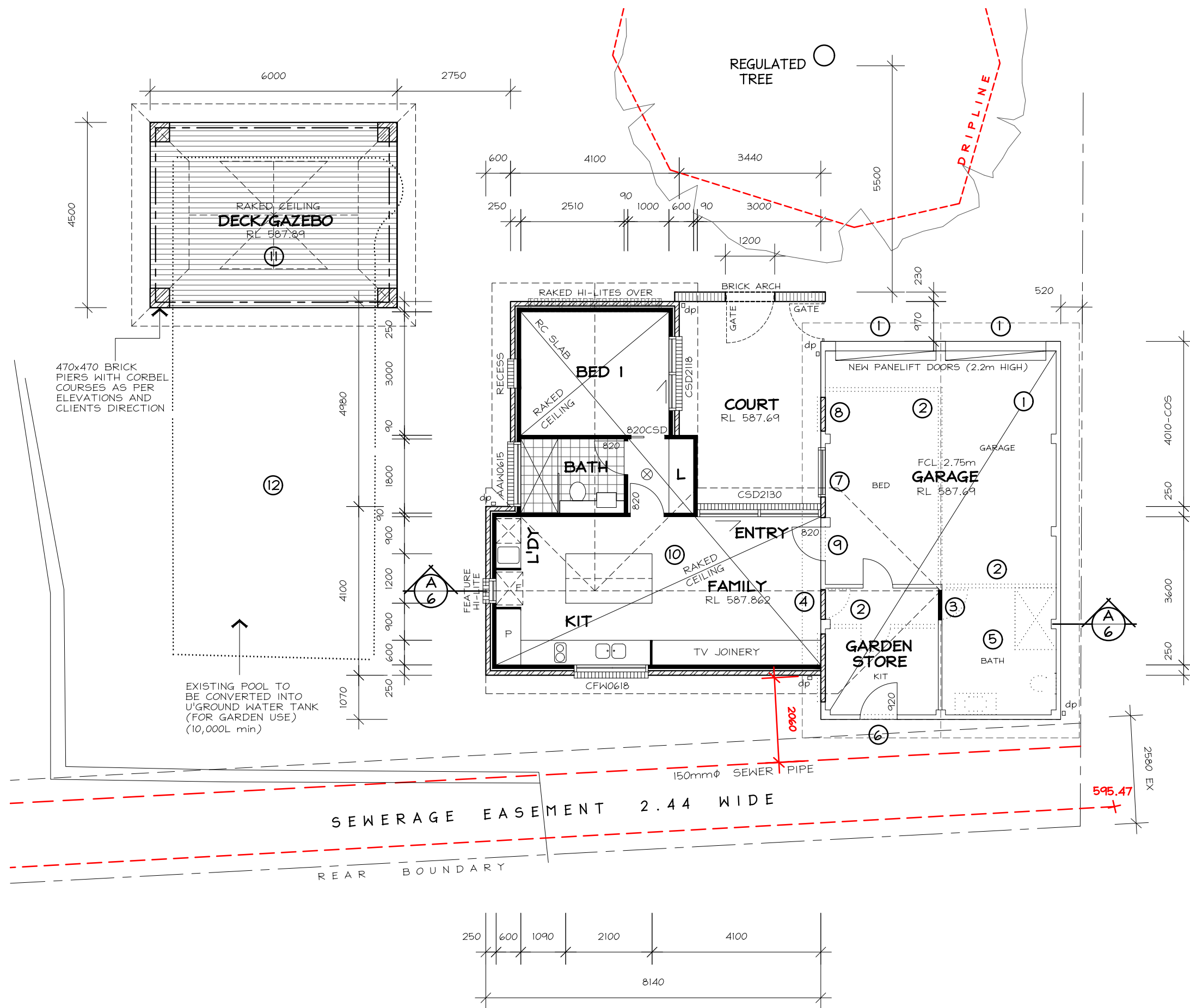
PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

BLOCK: 4
SECTION: 7 FORREST
CLIENT: D SHARMA and A BURTON

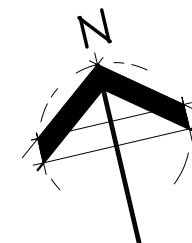
CARMODY by DESIGN

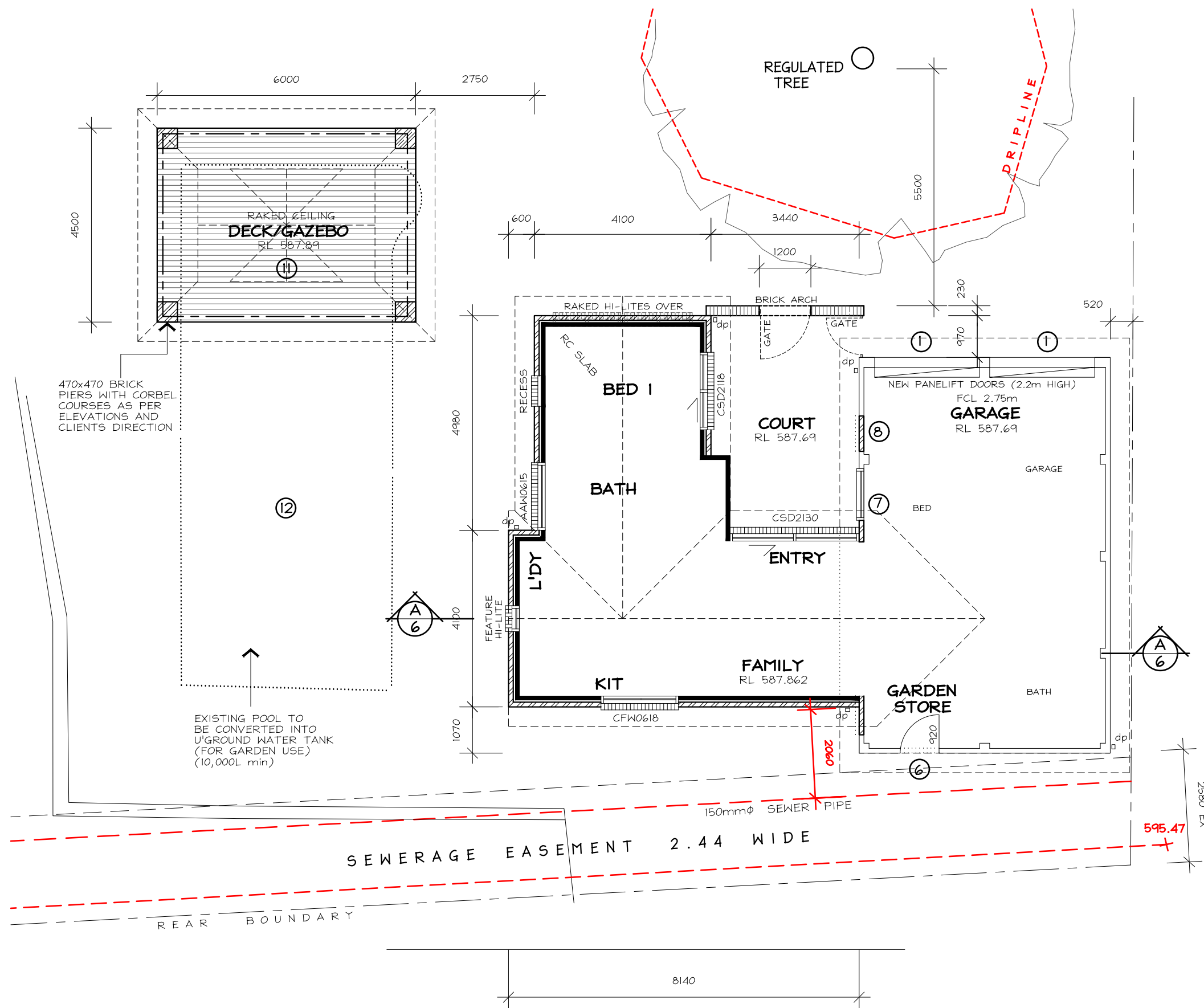
ABN 58201170896
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 GINA@CARMODYBYDESIGN.COM.AU
 PH: 02 6230 1284

DWN: A.KWONG G.CARMODY
 SCALE: 1:100 DATE: 8/8/23
 DWG No.: **2303** SHEET: 4 OF 7



FLOOR PLAN ⊗ = SMOKE ALARM





ALTERATIONS

- 1 REMOVE EX. GARAGE DOORS AND INSTALL NEW 2.2m HIGH (COS) PANELIFT DOORS (REMOTE CONTROLLED) AS NOTED. MAKE GOOD
- 2 DEMOLISH INTERNAL WALLS AND MAKE GOOD
- 3 REMOVE EX. DOOR AND BLOCK UP IN STUDFRAMING TO MATCH EXISTING.
- 4 REMOVE EX. DOOR AND BLOCK UP IN BRICKWORK TO MATCH EXISTING. MAKE GOOD
- 5 DEMOLISH EX. BATHROOM FITOUT
- 6 DEMOLISH PART OF BRICK WALL TO INSTALL NEW DOOR TO GARDEN STORE AS SHOWN AND TO CLIENTS DIRECTION. MAKE GOOD
- 7 REPLACE EX. WINDOW WITH NEW 1200W UNIT (TO EX. REVEAL HEIGHT - COS). BLOCK UP REMAINING OPENING TO MATCH EXISTING
- 8 REMOVE EX. WINDOW AND BLOCK UP TO MATCH EXISTING
- 9 DEMOLISH EX. WALL AS REQ'D TO INSTALL NEW SOLID DOOR TO CLIENTS DIRECT. MAKE GOOD
- 10 BUILD NEW 1 BEDROOM DWELLING AS SHOWN AND AS PER SECTION A-A.
- 11 BUILD NEW DECK/GAZEBO AS SHOWN
- 12 EXISTING POOL TO BE CONVERTED INTO UNDERGROUND WATER TANK (FOR GARDEN USE) TO CLIENTS DIRECTION.

PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

BLOCK: 4

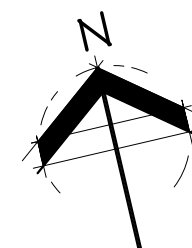
SECTION: 7 FORREST

CLIENT: D SHARMA and A BURTON of 11 Talbot Street Forrest



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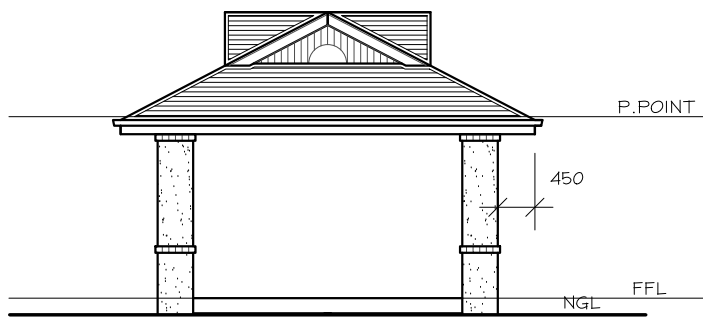


NOTIFICATION FLOOR PLAN ⊗ = SMOKE ALARM

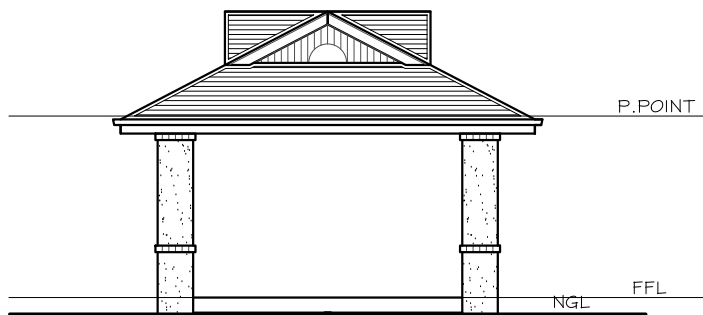
DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 8/8/23

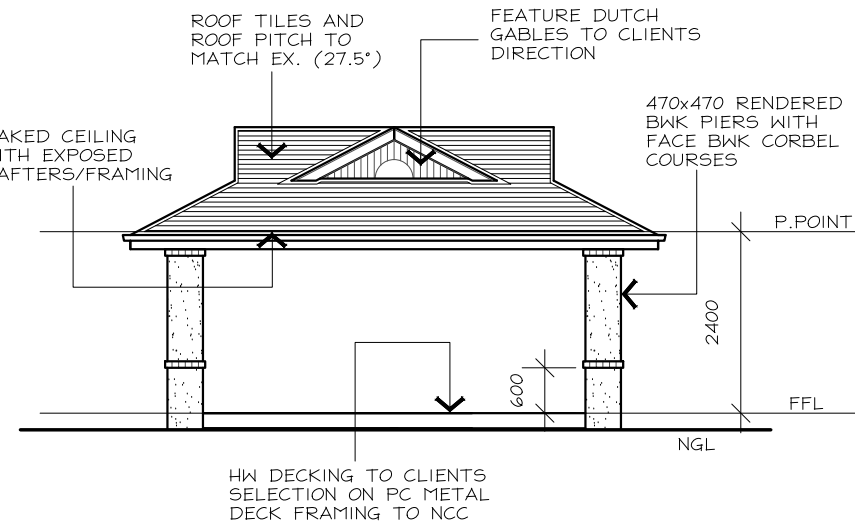
DWG No.: **2303** SHEET: 3 OF 7



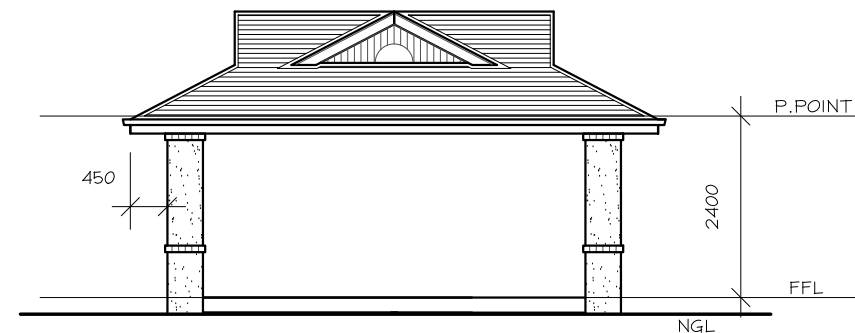
EAST ELEVATION



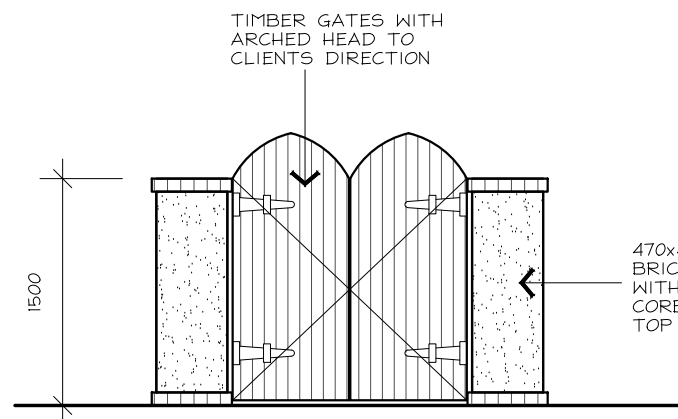
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



ENTRY GATES 1:50

GENERAL NOTES: (WHERE APPLICABLE)

ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS)

ANY DISCREPANCIES TO BE DIRECTED TO BUILDER AND/OR DESIGNER IMMEDIATELY

INCLUSIONS LIST TO TAKE PRECEDENCE OVER DRAWINGS

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE BUILDING CERTIFIER AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:

- A) ACT GOVERNMENT
- B) NATIONAL CONSTRUCTION CODE OF AUSTRALIA
- C) ACT ELECTRICITY AND WATER
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED.

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BCA, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2.2 IN ACCORDANCE WITH AS3786 AND NCC-VOL 2

ALL WINDOWS/GLAZED DOORS TO BE DOUBLE GLAZED ALUMINIUM IMPROVED FRAMES (UNLESS NOTED OTHERWISE) AS PER ATTACHED EER.

LIGHTING TO COMPLY WITH 3.12.5.5 OF THE N.C.C

ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST TIMBER FRAMING CODE AS1684 AND N.C.C

EXTERNAL WALLS TO BE BRICK VENEER UNLESS STATED ON PLANS, WHEN LIGHTWEIGHT CLADDING IS USED IT IS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS AND SARKED AND INSULATED AS PER THE N.C.C AND ATTACHED EER.

ALL INSULATION R VALUES AND WINDOW SHGC AND U-VALUES AS PER THE ATTACHED EER.

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINIUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED DOCUMENTATION FOR ALL STRUCTURAL DETAILS

ALL EXTERNAL WINDOWS TO HAVE BRICK ON EDGE WINDOW SILLS WITH DAMP PROOF MEMBRANE UNDER TO N.C.C

PROVIDE TERMITE PROTECTION TO CODE AND AS3660-2014 PARTS 1, 2 AND 3

ALL NEW STAIRS TO COMPLY WITH N.C.C

3.1.4 TERMITE RISK DAMAGE - NEW WORK WILL BE COMPLIANT WITH THE N.C.C.

3.5.4 TIMBER & COMPOSITE WALL CLADDING - WEATHERTEX CLADDING TO MAN. SPECIFICATIONS.

3.8.7 CONDENSATION MANAGEMENT - NEW WORK WILL BE COMPLIANT WITH THE N.C.C AND MAN . SPECIFICATIONS

SERVICES/ELECTRICAL/WASTE:

NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE. ALL WORKS DONE TO ACTEW GUIDELINES/ADVICE

ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE, RESIDENTIAL WASTE TO BE COLLECTED BY ROADSIDE PICKUP AND BINS TO BE LOCATED ON SITE

METER BOX TO BE INSTALLED TO EVOENERGY SERVICE AND INSTALLATION RULES

LIGHTING TO COMPLY WITH 3.12.5.5 OF THE N.C.C - REFER ELECTRICAL LAYOUT. ARTIFICIAL LIGHTING MUST NOT EXCEED 5W/M2

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH N.C.C AND TO MAN. SPECIFICATIONS

STORMWATER AND SEWER AND WATER TIES TO BE LOCATED ON HYDRAULIC/DRAINAGE PLANS

TELSTRA AND GAS TIES TO BE PROVIDED BY GAS FITTER AND ELECTRICIAN

DOWNPIPES TO ROOF PLUMBERS SPECIFICATIONS

ENSURE THAT THE DEVELOPMENT COMPLIES WITH TERRITORY AND MUNICIPAL SERVICES (TAMS) STATING THAT WASTE FACILITIES AND MANAGEMENT ASSOCIATED WITH DEVELOPMENT ARE IN ACCORDANCE WITH THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT 1999

PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

BLOCK: 4

SECTION: 7 FORREST

CLIENT: D SHARMA and

A BURTON of

11 Talbot Street Forrest



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DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 8/8/23

DWG No.: 2303 SHEET: 5 OF 7



Glazing



National
Construction
Code



Help

Calculator

1. Enter building name and description below - identifying the particular part(s) covered by this assessment.

11 Talbot Street, Forrest ACT - ground floor

Storey

Floor Construction

Area

Ground

Direct Contact

109m²

Air Movement

Suspended

Standard

Area of storey

109m²

Area of glazing

18.2m² (17% of area of storey)

Climate Zone

7

Constants

C_U

5.486

C_{SHGC}

0.189

Wall Insulation Option Chosen for 3.12.1.4

No wall insulation concession used

Allowances

C_(only)

5.5

C_{SHGC} x Area

20.6


Number of rows for table below

10 (as currently displayed)

Glazing Elements, Orientation Sector, Size and Performance Characteristics								Shading		Calculation Data			Calculated Outcomes				
Glazing element		Orientation		Size		Performance		P&H or Device		Exposure		Size	Conductance - PASSED		Solar heat gain - PASSED		
ID	Description (optional)	Facing Sector	Height (m)	Width (m)	Area (m²)	Total System U-Value (AFRC)	Total System SHGC (AFRC)	P (m)	H (m)	P/H	Es	Area used (m²)	U x area / Winter Access	Element Share of % of Allowance Used	SHGC x Es x Area	Element Share of % of Allowance Used	
	1 W01 - entry	N	2.10	3.00		2.60	0.50	0.45	2.65	0.08	0.78	6.30	1.25	33% of 69%	2.5	30% of 39%	
	2 W02 - bed 1	E	2.10	1.80		2.60	0.50	0.45	2.65	0.08	1.06	3.78	0.75	20% of 69%	2.0	25% of 39%	
	3 W03 - bed 1	N	1.05	4.00		2.60	0.50				0.96	4.20	0.83	22% of 69%	2.0	25% of 39%	
	4 W04 - bathroom	W	0.60	1.50		4.90	0.49	0.45	0.85	0.53	0.67	0.90	0.34	9% of 69%	0.3	4% of 39%	
	5 W05 - kitchen hi-lite	W	1.20	0.71		3.40	0.49				1.19	0.85	0.22	6% of 69%	0.5	6% of 39%	
	6 W06 - kitchen	S	0.60	1.80		2.60	0.50	0.45	1.75	0.13	0.49	1.08	0.21	6% of 69%	0.3	3% of 39%	
	7 W07 - garage	W	0.90	1.20		2.60	0.50	0.15	1.45	0.05	1.09	1.08	0.21	6% of 69%	0.6	7% of 39%	
	8																
	9																
10																	

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR

If inputs (including air movement levels) are valid



By accessing or using this calculator, you agree to the following: While care has been taken in the preparation of this calculator, it may not be complete or up-to-date. You can ensure that you are using a complete and up-to-date version by checking the Australian Building Codes Board website (www.abcb.gov.au). The Australian Building Codes Board, the Commonwealth of Australia and States and Territories of Australia do not accept any liability, including liability for negligence, for any loss (howsoever caused), damage, injury, expense or cost incurred by any person as a result of accessing, using or relying upon this publication, to the maximum extent permitted by law. No representation or warranty is made or given as to the currency, accuracy, reliability, merchantability, fitness for any purpose or completeness of this publication or any information which may appear on any linked websites, or in other linked information sources, and all such representations and warranties are excluded to the extent permitted by law. This calculator is not legal or professional advice. Persons rely upon this calculator entirely at their own risk and must take responsibility for assessing the relevance and accuracy of the information in relation to their particular circumstances.

TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN PREPARED BY 'HARRIS HOBBS LANDSCAPES'

PROPOSED GAZEBO/DECK
RL 587.89

EXISTING POOL TO BE CONVERTED TO U'GROUND RW TANK FOR GARDEN USE

REGULATED TREE ○

NEW MASONRY ENTRY PILLARS AND GATES AS PER DETAIL ON SHEET 5

VERGE PROTECTION

INSTALL 1.8m HIGH CONTINUOUS CHAIN MESH FENCE SUPPORTED BY 2.4m TALL STAR STEEL POSTS AROUND VERGE AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN ON THE DRAWINGS.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED. NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES

NO SITE SHEDS, STORAGE SHED, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIP LINE OF RETAINED TREES

TO BE REMOVED

AREA:

BLOCK:	1390m ²
EX. RESIDENCE:	196.0m ²
EX. GARAGE:	54.0m ²
NEW RESIDENCE	54.5m ²
NEW TOTAL GFA:	108.9m ²
NEW PLOT RATIO:	7.8%
NEW GAZEBO/DECK:	27.0m ²
PLANTING AREA:	731m ²
P.O.S (834m ² REQ'D):	1100m ²
SITE COVERAGE:	135.5m 9.7%
HARDSCAPED AREA:	419.5m ²

PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

BLOCK: 4

SECTION: 7 FORREST

CLIENT: D SHARMA and A BURTON of 11 Talbot Street Forrest



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DWN: A.KWONG G.CARMODY

SCALE: 1:200 DATE: 12/7/23

DWG No.: **2303** SHEET: 2 OF 7

LMPP AND SITE PLAN

1:200

**BLOCK: 4
SECTION: 7
FORREST**



PROPOSED RESIDENCE
RL 587.862

TO BE READ IN CONJUNCTION WITH LANDSCAPE PLAN PREPARED BY "HARRIS HOBBS LANDSCAPES"

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED

Richard Ulrich Schneider

RICHARD ULRICH SCHNEIDER
REGISTERED SURVEYOR
(NSW-SURVEYORS ACT 2002)
(ACT-SURVEYORS ACT 2007)

WATERPROOFING NOTES:

SHOWER AREAS:
ENCLOSED AND UNENCLOSED (INCLUDING SHOWER OVER BATH)
MUST CONSIDER THE FOLLOWING:
FLOOR OF THE SHOWER AREA MUST BE WATERPROOF - INCLUDING ANY HOB OR STEP DOWN.
WALLS TO BE WATER RESISTANT TO NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL AND WATERPROOF NOT LESS THAN 150mm ABOVE FLOOR SUBSTRATE; OR NOT LESS THAN 25mm ABOVE MAXIMUM RETAINED WATER LEVEL; AND
WALL JUNCTIONS AND JOINTS TO BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION.
WALL/FLOOR JUNCTIONS TO BE WATERPROOF.
PENETRATIONS TO BE WATERPROOF - PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING

OUTSIDE SHOWER AREAS:
FLOOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING MUST BE WATER RESISTANT.
TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS MUST BE WATERPROOF.
WALL/FLOOR JUNCTIONS MUST BE WATERPROOF.
BATHROOM ENTRY TO BE WATERPROOF MIN 25mm ABOVE FINISHED FLOOR SURFACE.
THE DOORWAY WATERSTOP REQUIRES THE BASE TO BE SEALED TO FLOOR AND UPSTAND FLUSH WITH FINISHED FLOOR SURFACE

AREAS ADJACENT TO BATHS AND SPAS (VESSEL):
FLOOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET - MUST BE WATER RESISTANT.
TIMBER FLOOR INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS - MUST BE WATERPROOF.
WALLS WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL. ALL EXPOSED SURFACES BELOW VESSEL LIP - MUST BE WATER RESISTANT.
WALL JUNCTIONS AND JOINTS TO BE WATER RESISTANT WHEN LOCATED WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
WALL/FLOOR JUNCTIONS TO BE WATER RESISTANT FOR THE EXTENT OF THE VESSEL.
PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING

INSERTED BATHS AND SPAS:
FLOOR WATERPROOF SHELF AREA, INCORPORATING WATERSTOP UNDER THE BATH LIP.
WALL TO BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH OR SPA; AND
NO REQUIREMENT UNDER BATH.
WALL JUNCTIONS AND JOINTS WITHIN 150mm ABOVE BATH OR SPA; AND NO REQUIREMENT UNDER BATH.
PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES. PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING.

LAUNDRIES AND WC's:
FLOOR REQUIRED TO BE WATER RESISTANT.
WALL/FLOOR JUNCTIONS REQUIRED TO BE WATER RESISTANT.

WALLS ADJOINING SINK, BASIN OR LAUNDRY TUB (VESSEL):
WALLS TO BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL.
WALL JUNCTIONS WATERPROOF WHERE A VESSEL IS FIXED TO A WALL.
PENETRATIONS WATERPROOF WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.

MATERIALS - WATERPROOF:
THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:
STAINLESS STEEL
FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS
MEMBRANES COMPLYING WITH AS/NZS4858
WATERPROOF SEALANT

MATERIALS - WATER RESISTANT SUBSTRATES:
THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:
FOR WALLS:
CONCRETE COMPLYING WITH AS3600, TREATED TO RESIST MOISTURE MOVEMENT.
CEMENT RENDER, TREATED TO RESISTN MOISTURE MOVEMENT.
COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NSS 2908.2
WATER RESISTANT PLASTERBOARD SHEETING.
MASONRY IN ACCORDANCE WITH AS3700, TREATED TO RESISTANT MOISTURE MOVEMENT.

FOR FLOORS:
CONCRETE COMPLYING WITH AS3600.
CONCRETE SLABS COMPLYING WITH AS2870.
COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR.

MATERIALS - WATER RESISTANT SURFACE MATERIALS
THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:
FOR WALLS:
THERMOSETTING LAMINATE.
PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS2908.2
TILES WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEMS.
WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEM.
SANITARY GRADE ACRYLIC LININGS.

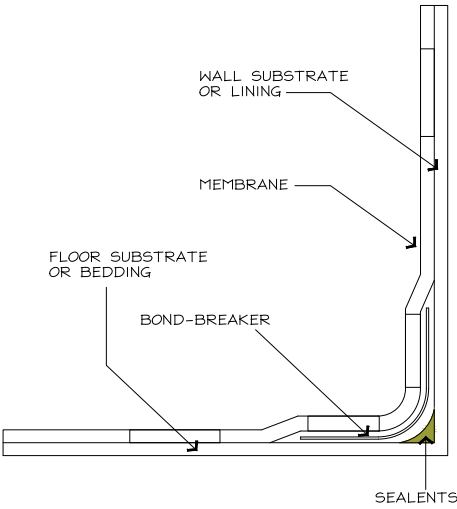
RECOMMENDATIONS:
IT IS RECOMMENDED BUILDING CERTIFIERS ENSURE ADEQUATE DOCUMENTATION IS SUBMITTED WITH THE BUILDING APPROVAL AS REQUIRED UNDER BUILDING ACT 2004 SECTION 28A AND SECTION 151 - MINIMUM DOCUMENTATION REQUIREMENTS FOR BUILDING LODGEMENT CLASS 1 & 10 - RESIDENTIAL CONSTRUCTION. BUILDERS SHOULD SUPERVISE AND INSPECT WATERPROOFING TO ENSURE COMPLIANCE PRIOR TO PROCEEDING TO TILING AND FITOUT.
ENFORCEMENT ACTION:
WHERE IDENTIFIED, INSUFFICIENT OR INCORRECT WATERPROOFING OF WET AREAS AND LACK OF DOCUMENTATION MAY RESULT IN THE ISSUANCE OF A STOP WORK NOTICE IN ACCORDANCE WITH SECTION 53 OF THE BUILDING ACT 2004, AND FORMAL LICENCING ACTION INCLUDING ISSUING OF DEMERIT POINTS IN ACCORDANCE WITH SECTION 55 OF THE CONSTRUCTION OCCUPATIONS (LICENSING) ACT 2004.

INSTALLATION:
INSTALLATION OF THE WATERPROOFING TO THE INTERNAL WET AREAS AND EXTERNAL AREAS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 3740-2020 AND THE N.C.C - 2022
THE INSTALLATION IS IN ACCORDANCE WITH AS/NZS 4654.2:2012

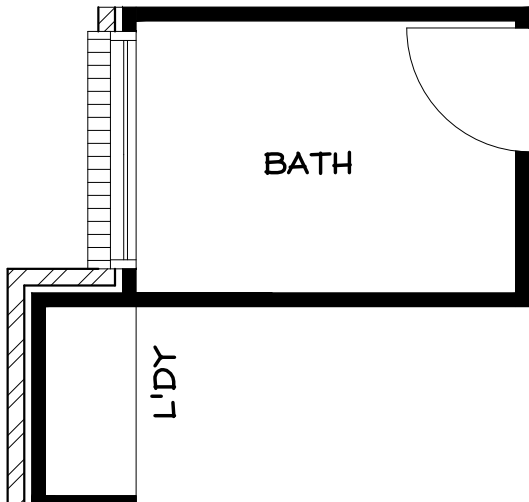
WATERPROOFING PRODUCT OR COMPOUND USED:

FILLET AND BOND BREAKER USED:

NUMBER OF COATS APPLIED:



TYPICAL BOND BREAKER CLASS II



EROSION & SEDIMENT CONTROL PLAN

MAINTAIN AS MANY GRASSED AREAS AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM, FENCE OFF UNDISTURBED AREAS

USE ONLY ONE EXIT/ENTRY TO THE SITE. BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50mm AGGREGATE, RECYCLED CONCRETE OR SIMILAR

ASSIGN A DESIGNATED PARKING AREA

LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER

KEEP STOCKPILES WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM

INSTALL ON-SITE WASTE COLLECTION

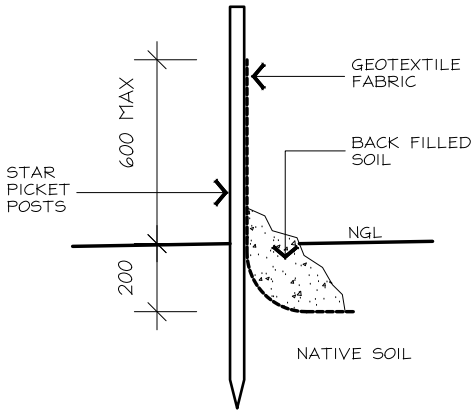
REGULARLY REMOVE ANY SEDIMENT FROM ROADS ADJACENT TO YOUR SITE. DO NOT WASH INTO THE STORMWATER SYSTEM

INSTALL A SEDIMENT CONTROL BARRIER OF GEOTEXTILE FABRIC ON THE LOW SIDE/S OF THE BLOCK (AS NOTED ON THE SITE PLAN AND AS PER DETAIL)

DESIGNATE A BRICK CUTTING AND WASHING AREA AWAY FROM STORMWATER DRAINS.
ENSURE THE AREA IS LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE

REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CONSTRUCTION

ENSURE THAT THE DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007



SEDIMENT CONTROL DETAIL

SECTION NOTES:

ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684

ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.

RC SLAB AND FOOTINGS TO COMPLY WITH ENGINEER'S DETAILS AND AS2870.1

PROVIDE CONTINUOUS DAMP-PROOF MEMBRANE UNDER SLAB TO N.C.C-2022

PROVIDE TERMITE PROTECTION UNDER SLAB TO MAN. SPEC. AND N.C.C-2022

PROVIDE 90x35 MGP OR 90x45 MGP STUDS AS REQUIRED TO AS1684 AND/OR TO MAN. SPECIFICATIONS.

BRACING AS PER N.C.C AND ENGINEER'S SPECIFICATIONS
PLASTERBOARD AND FC LININGS TO INTERNAL WALLS AND CEILINGS AS REQUIRED

PRE-FABRICATED ROOF TRUSSES AS PER MAN. SPEC.

LINTELS AS PER TRUSS MANUFACTURERS CHARTS AND ENGINEER'S SPECIFICATIONS

ALL INSULATION AS PER ATTACHED EER

ALL EXTERNAL SWING DOORS AND INTERNAL ACCESS DOORS TO BE FULLY SEALED

WINDOW SPECIFICATIONS AS PER ATTACHED EER

STANDARD METRIC BRICK 230x110x76mm WITH FLUSH IRONED JOINTS & STRETCHER BOND. BRICKS TIES AND ANCHORAGE TO AS4773. MORTAR MIX: M3 MORTAR MIX OF 1-CEMENT, 1-LIME, 6-SAND

ALL LOAD BEARING WALLS AND CONTROL JOINTS SPECIFIED TO ENGINEER'S DETAILS

FLASHING, WEEP HOLES AND DAMP PROOF COURSE TO COMPLY WITH BCA AND AS4773

ROOF AND EXTERNAL WALL MATERIALS AS NOTED ON ELEVATIONS/SECTION.

ALL EAVES AND GUTTERS TO BE COLORBOND QUAD GUTTERING, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

ALL ROOFING AND BATTEN SPACINGS TO BE INSTALLED TO MAN. SPECIFICATIONS AND N.C.C-2022

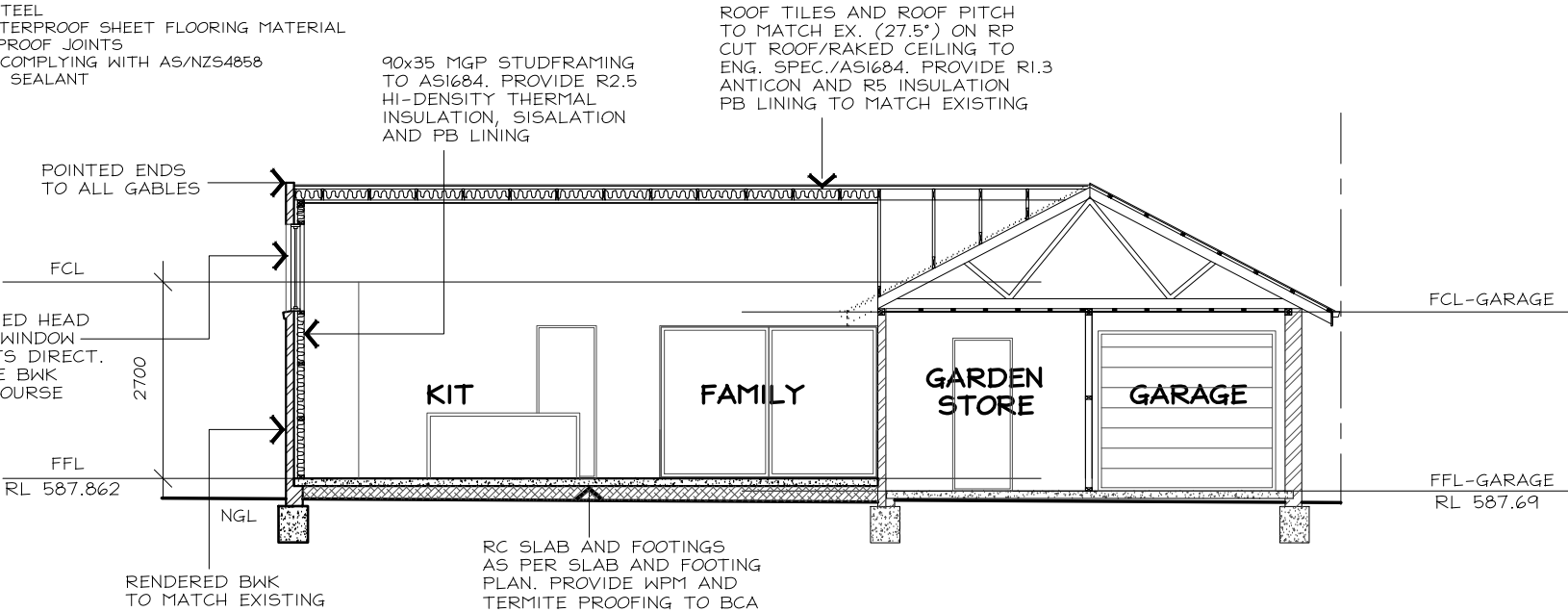
PROVIDE PAINTED FC SHEET LININGS TO ALL EAVES
EAVES OVERHANG AS DIMENSIONED ON ELEVATIONS AND SECTION DIAGRAM

50mm CAVITY DIMENSION TO EXTERNAL B/V WALL

MECHANICAL VENTILATION DUCTED TO EXTERIOR TO COMPLY WITH N.C.C-2022

SHOWER SCREENS AND WET AREA GLAZING TOUGHENED GLASS AS PER N.C.C-2022

FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH BCA V2 3.8.7.3



SECTION A-A

PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

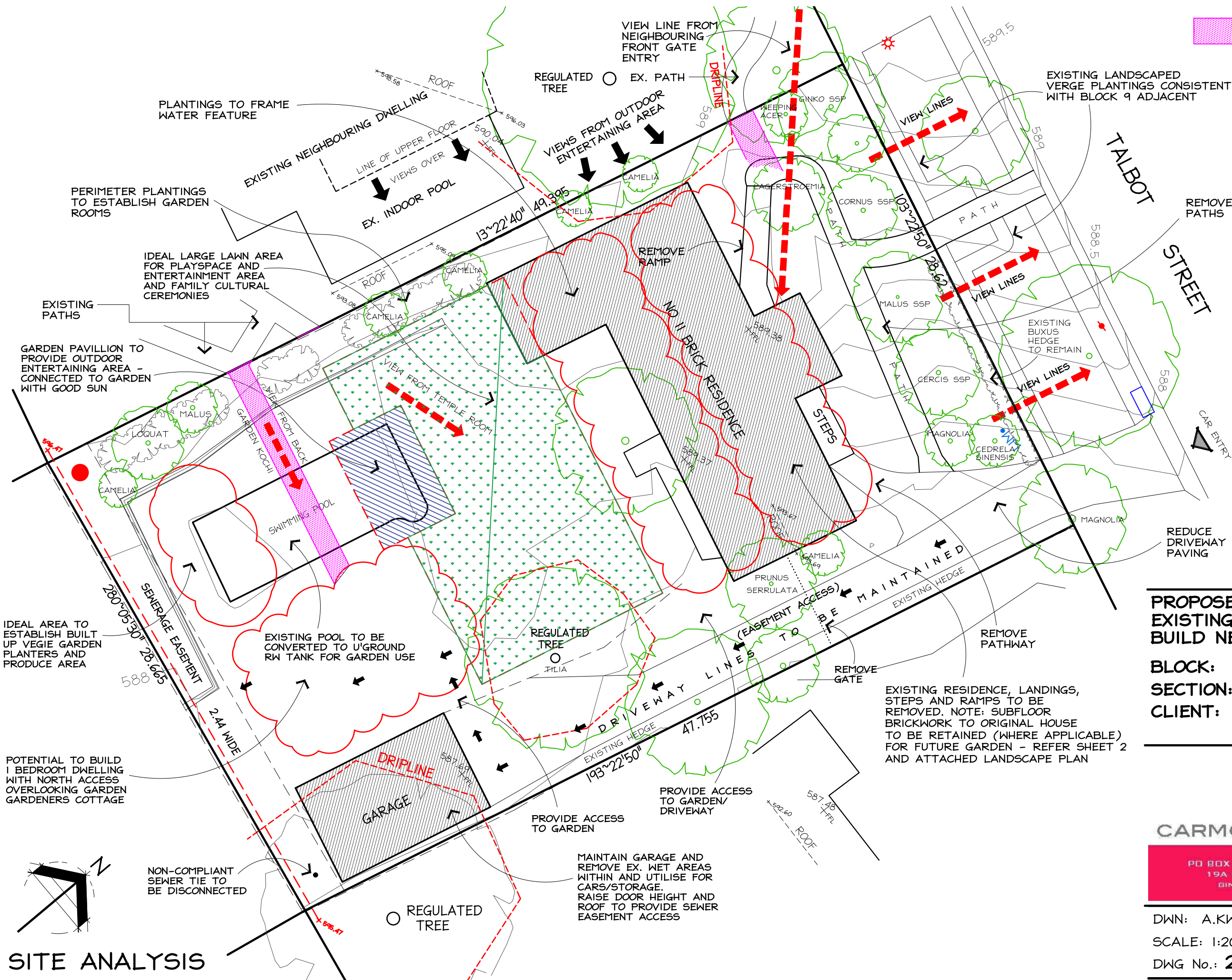
BLOCK: 4
SECTION: 7 FORREST
CLIENT: D SHARMA and A BURTON of 11 Talbot Street Forrest


CARMODY by DESIGN
ABN 58201170896
PO BOX 6121 D'CONNOR ACT 2602
19A FARRER STREET BRADDON
GINA@CARMODYBYDESIGN.COM.AU
PH: 02 6230 1284

DWN: A.KWONG G.CARMODY

SCALE: 1:100 DATE: 8/8/23

DWG No.: 2303 SHEET: 6 OF 7



 = INTENDED EXTENSIONS OF EXISTING PATHWAYS TO CONNECT TO

PROPOSED DEMOLITION OF EXISTING RESIDENCE AND BUILD NEW RESIDENCE:

BLOCK: 4
SECTION: 7 FORREST
CLIENT: D SHARMA and A BURTON



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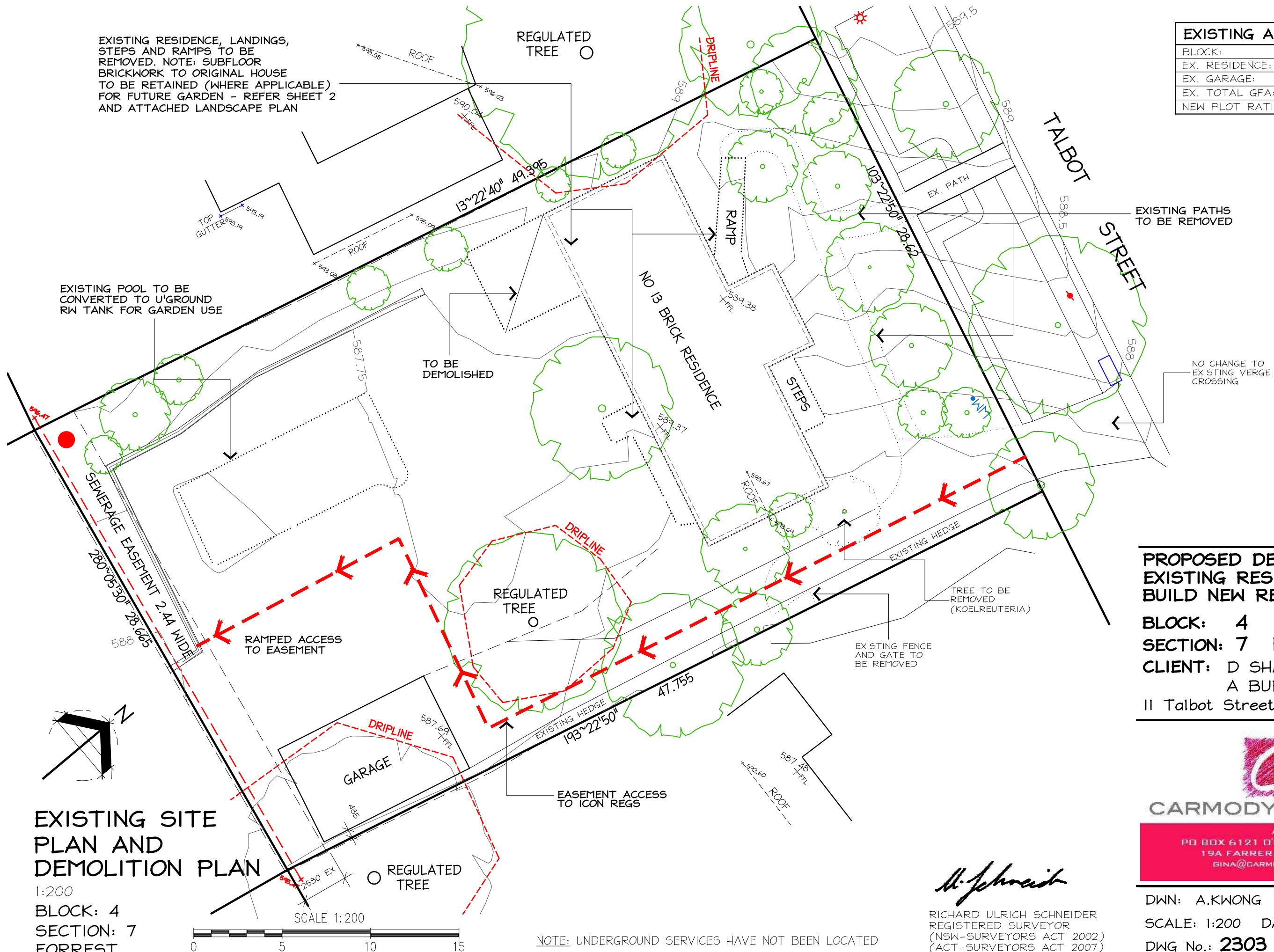
DWN: A.KWONG G.CARMODY

SCALE: 1:200 DATE: 8/8/23

DWG No.: 2303 SHEET: 7 OF 7

EXISTING AREAS:	
BLOCK:	1390m ²
EX. RESIDENCE:	196.0m ²
EX. GARAGE:	54.0m ²
EX. TOTAL GFA:	250m ²
NEW PLOT RATIO:	17.99%

EXISTING RESIDENCE, LANDINGS, STEPS AND RAMPS TO BE REMOVED. NOTE: SUBFLOOR BRICKWORK TO ORIGINAL HOUSE TO BE RETAINED (WHERE APPLICABLE) FOR FUTURE GARDEN - REFER SHEET 2 AND ATTACHED LANDSCAPE PLAN



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BLOCK: 4
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Richard Ulrich Schneider

RICHARD ULRICH SCHNEIDER
REGISTERED SURVEYOR
(NSW-SURVEYORS ACT 2002)
(ACT-SURVEYORS ACT 2007)

DWN: A.KWONG G.CARMODY
SCALE: 1:200 DATE: 8/8/23
DWG No.: 2303 SHEET: 1 OF 7

EXISTING SITE PLAN AND DEMOLITION PLAN

1:200

BLOCK: 4
SECTION: 7
FORREST

SCALE 1:200

NOTE: UNDERGROUND SERVICES HAVE NOT BEEN LOCATED