

20 TALBOT STREET, FORREST ACT

BLOCK 12 SECTION 5 FORREST

DRAWING LIST

COVER PAGE	WA000
LOCALITY PLAN	WA001
EXISTING & DEMOLITION PLAN	WA002
DETAILED SITE PLAN	WA003
PLAN - BASEMENT	WA100
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MATERIAL & PERSPECTIVES	WA211
SECTIONS	WA300
SHADOW DIAGRAMS	WA400



ARTIST'S IMPRESSION

20 TALBOT STREET, FORREST ACT

BLOCK 12 SECTION 5 DEAKIN

DRAWING LIST

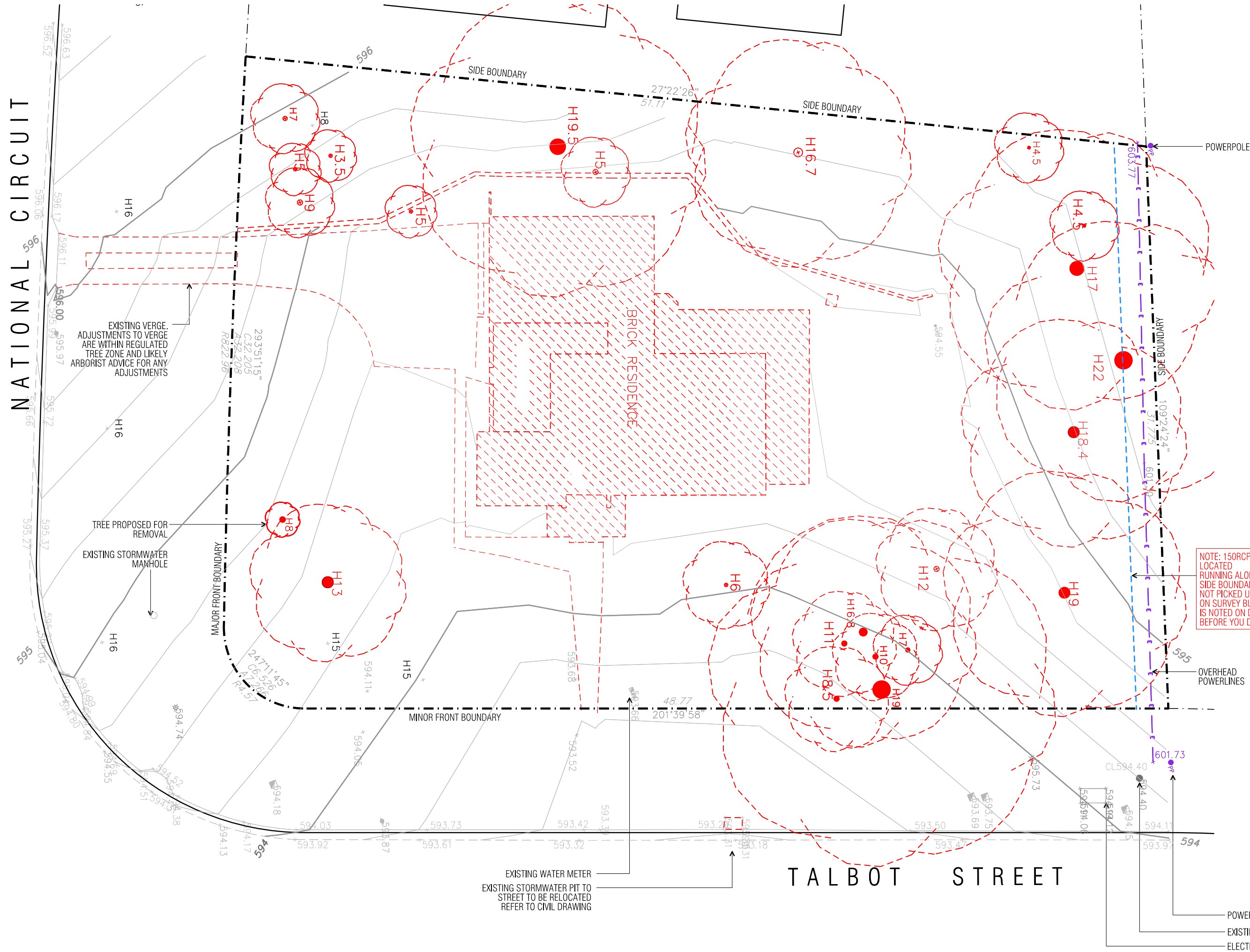
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ARTIST'S IMPRESSION



NATIONAL CIRCUIT



WATER SUPPLY - DEMOLITION WORKS ACTEWAGL REQUIREMENTS FOR DEMOLITION WORK WHICH HAS THE POTENTIAL TO DAMAGE ACTEW ASSETS OR RESULT IN CONTAMINATION OF THE POTABLE WATER SUPPLY, THE PROPERTY OWNER (OR THEIR DESIGN OR CONSTRUCTION AGENT) IS RESPONSIBLE TO:

1. WHERE AN ACTEW WATER MAIN TRAVERSES A PROPERTY (AND WHERE AN ACTEW WATER MAIN IS OUTSIDE THE PROPERTY BOUNDARY BUT PROPOSED DEMOLITION WORKS MAY IMPACT ON THE WATER MAINS PIPE-PROTECTION-ENVELOPE), OBTAIN ACCURATE WATER NETWORK SURVEY PLANS FROM ACTEWAGL OR FROM A SITE SURVEY BY A REGISTERED SURVEYOR. SHOW WATER ASSET LOCATIONS (INCLUDING MAINS, VALVES AND HYDRANTS) ON RELEVANT DEMOLITION PLANS (WITH OFF-SET DIMENSIONS TO SITE BOUNDARIES).
2. IDENTIFY THE LOCATION OF THE ACTEW ISOLATION VALVE AND WATER METER ON THE SITE PLAN (WITH OFF-SET DIMENSIONS FROM SITE BOUNDARIES).
3. RECORD THE CONDITION OF THE WATER CONNECTION PIPE, ISOLATION VALVE, WATER METER, VERGE HYDRANTS, VERGE NETWORK VALVES, ETC. CALL ACTEWAGL TO REPAIR DAMAGED COMPONENTS, PHONE 131 193. A FAILURE TO IDENTIFY ANY FAULTS BEFORE DEMOLITION WORKS COMMENCE MAY RESULT IN THE PROPERTY OWNER (OR THEIR CONTRACTORS) BEING HELD RESPONSIBLE TO PAY FOR THE REPAIR OF DAMAGE CAUSED BY A FAILURE TO ADEQUATELY PROTECT THOSE ASSETS DURING THE DEMOLITION OR BUILDING CONSTRUCTION WORKS.
4. ENGAGE A LICENSED PLUMBER TO DISCONNECT THE INTERNAL PLUMBING SERVICE AT THE WATER METER BEFORE ANY DEMOLITION WORKS COMMENCE.
5. WHERE FURTHER CONSTRUCTION WORKS IS PLANNED, INSTALL A TEMPORARY HOSE COCK ADJACENT TO THE METER, RETAIN THE METER, METER BOX AND HOSE COCK FOR THE DURATION OF ANY BUILDING WORKS. IDENTIFY, FLAG, BARRICADE AND PROTECT THE METER ASSEMBLY FROM DEMOLITION OPERATIONS AND ACCIDENTAL DAMAGE, TO AVOID ACCIDENTAL WASTAGE. TURN OFF THE ISOLATION VALVE UNTIL REQUIRED.
6. WHERE FURTHER CONSTRUCTION WORKS IS NOT PROPOSED TO COMMENCE WITHIN 12 MONTHS FROM THE DATE DEMOLITION WORKS COMMENCE, PERMANENT DISCONNECTION AND REMOVAL OF THE METER MAY BE REQUIRED. PLEASE CONSULT WITH ACTEWAGL.
7. FLAG AND PROTECT NETWORK ISOLATION VALVES AND HYDRANTS (ON THE VERGE) FROM DEMOLITION OPERATIONS AND ACCIDENTAL DAMAGE.
8. ADVISE ACTEWAGL THAT THE DEMOLITION IS COMPLETE. (ACTEWAGL MAY TAKE THE OPPORTUNITY TO INSTALL A NEW ISOLATION VALVE AND METER ASSEMBLY TO THE CURRENT ACTEW STANDARD).

CONTACTS:
ALL WATER NETWORK ENQUIRIES SHOULD BE MADE TO THE WATER ENQUIRIES LINE: 6248 3555 (PRESS 2 FOR WATER) OR BY VISITING THE CUSTOMER SERVICE COUNTER AT 12 HOSKINS STREET MITCHELL DURING BUSINESS HOURS.

SEWER CONNECTIONS
DEMOLITION WORKS
ACTEWAGL REQUIREMENTS FOR DEMOLITION WORK WHICH HAS THE POTENTIAL TO DAMAGE ACTEW ASSETS OR RESULT IN DISCHARGE OF STORMWATER OR OTHER UNAPPROVED WASTES (OTHER THAN DOMESTIC SEWAGE) TO THE ACTEW SEWERAGE NETWORK. THE PROPERTY OWNER (OR THEIR DESIGN OR CONSTRUCTION AGENT) IS RESPONSIBLE TO:

1. WHERE AN ACTEW SEWER MAIN TRAVERSES A PROPERTY OR AN ACTEW SEWER MAIN IS OUTSIDE THE PROPERTY BOUNDARY (AND PROPOSED DEMOLITION WORKS MAY IMPACT ON THE SEWER MAINS PIPE-PROTECTION-ENVELOPE), OBTAIN ACCURATE SEWER NETWORK SURVEY PLANS FROM ACTEWAGL OR FROM A SITE SURVEY BY A REGISTERED SURVEYOR. SHOW SEWER ASSET LOCATIONS (INCLUDING MANHOLE, BOUNDARY RISER AND TIE LOCATION) ON RELEVANT DEMOLITION PLANS (WITH OFF-SET DIMENSIONS FROM SITE BOUNDARIES).
2. RECORD THE CONDITION OF MANHOLE COVERS, ETC. CALL ACTEWAGL TO REPAIR DAMAGED COMPONENTS, PHONE 131 193. A FAILURE TO IDENTIFY ANY FAULTS BEFORE DEMOLITION WORKS COMMENCE MAY RESULT IN THE PROPERTY OWNER (OR THEIR CONTRACTORS) BEING HELD RESPONSIBLE TO PAY FOR THE REPAIR OF DAMAGE CAUSED BY A FAILURE TO ADEQUATELY PROTECT THOSE ASSETS DURING THE DEMOLITION OR BUILDING CONSTRUCTION WORKS.
3. ENGAGE A LICENSED DRAINER TO DISCONNECT THE INTERNAL SANITARY DRAINS BEFORE ANY DEMOLITION WORKS COMMENCE. THE DISCHARGE OF DEBRIS, STORMWATER OR OTHER UNAPPROVED LIQUID WASTES (OTHER THAN DOMESTIC SEWAGE) IS AN OFFENCE UNDER THE UTILITIES ACT 2000.
4. IDENTIFY, FLAG, BARRICADE AND PROTECT THE SANITARY DRAINAGE RISER (INSTALLED) AND MANHOLES FROM DEMOLITION OPERATIONS.
5. WHERE FURTHER CONSTRUCTION WORKS IS PLANNED, SANITARY DRAINS ARE TO BE TEMPORARILY SEALED OFF BY CAPPING NO CLOSER THAN 3 METRES FROM THE ACTEW TIE. EXCAVATION AND CAPPING IS TO BE UNDERTAKEN BY LICENSED DRAINERS AT THE CUSTOMER EXPENSE. THE CAPPING POINT IS TO BE STAKED BEHIND THE CAP AND IDENTIFIED AT GROUND LEVEL. NOTE: THE SUBSEQUENT BUILDING CONTRACTOR WILL BE REQUIRED TO MAKE A NEW SANITARY DRAINAGE CONNECTION AT THE DESIGNATED TIE (NOT AT THE TEMPORARY CAP). THIS MAY REQUIRE THE REMOVAL OF OLD JUMP-UPS IN THE CUSTOMER SANITARY DRAINS, WHEN THE TIE IS EXPOSED IT IS DESIRABLE TO ASK ACTEWAGL TO INSPECT THE BRANCH-LINE TO ENSURE IT IS IN GOOD CONDITION.
6. WHERE FURTHER CONSTRUCTION WORKS IS NOT PROPOSED TO COMMENCE WITHIN 12 MONTHS FROM THE DATE DEMOLITION WORKS COMMENCE, PERMANENT DISCONNECTION MAY BE REQUIRED. PLEASE CONSULT WITH ACTEWAGL.
7. ADVISE ACTEWAGL THAT THE DEMOLITION IS COMPLETE.

CONTACTS:
ALL WATER NETWORK ENQUIRIES SHOULD BE MADE TO THE WATER ENQUIRIES LINE: 6248 3555 (PRESS 2 FOR WATER) OR BY VISITING THE CUSTOMER SERVICE COUNTER AT 12 HOSKINS STREET MITCHELL DURING BUSINESS HOURS.

GENERAL NOTES:

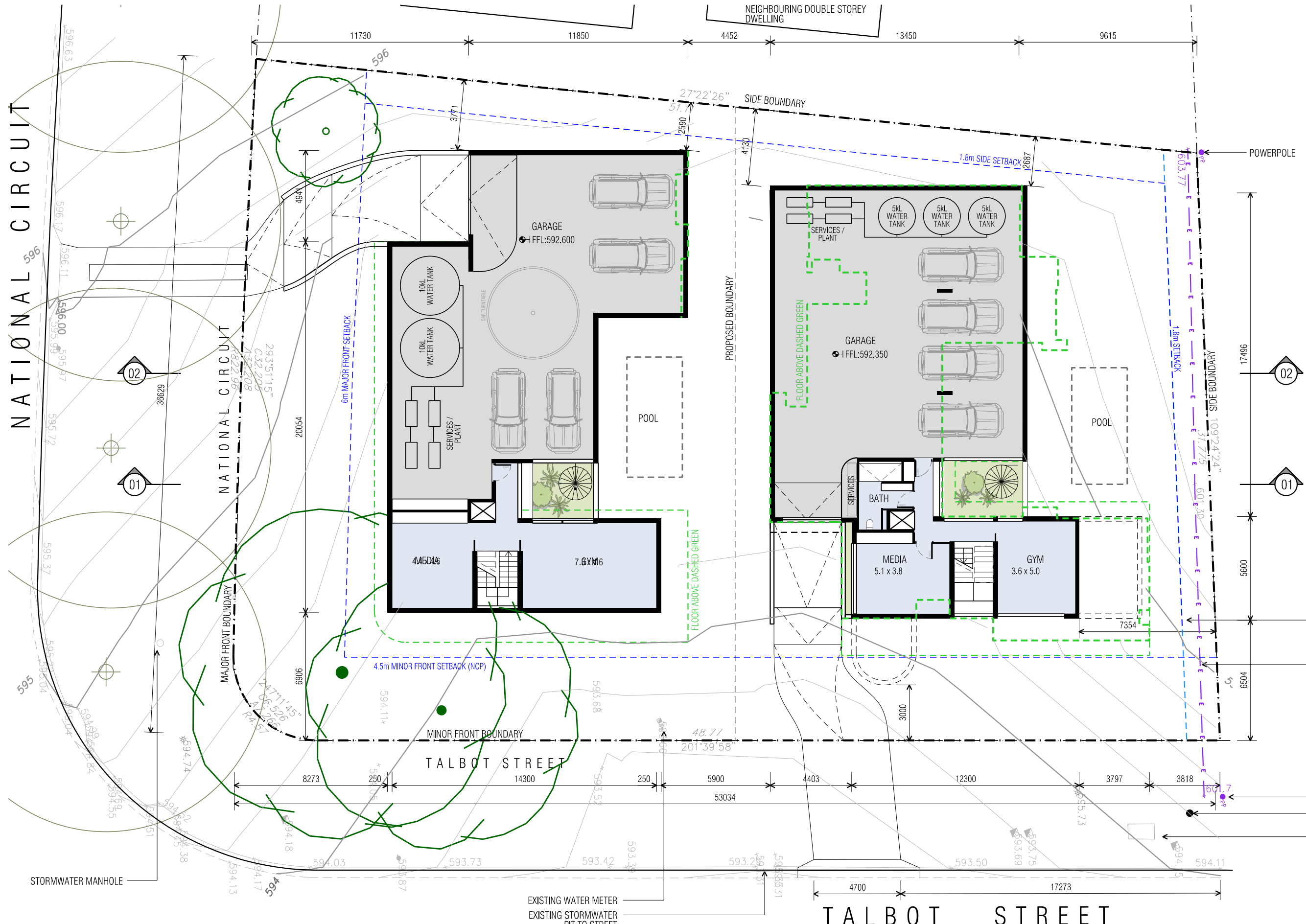
1. OWNER TO ENGAGE LICENCED CONTRACTOR TO ASSESS EXISTING STRUCTURES AND DETERMINE HAZARDOUS MATERIALS AND ASBESTOS PRIOR TO DEMOLITION.
2. ANY HAZARDOUS MATERIALS AND ASBESTOS LOCATED ON THE EXISTING BUILDING TO BE DISPOSED OF BY A LICENSED CONTRACTOR.
3. SERVICES DISCONNECTIONS IN ACCORDANCE WITH UTILITY REQUIREMENTS
4. ELECTRICITY TO BE DISCONNECTED IN ACCORDANCE WITH ACTEW REQUIREMENTS. MAINTAIN TEMPORARY SUPPLY FOR CONSTRUCTION.
5. ALSO REFER CIVIL ENGINEERS DOCUMENTATION

LEGEND

- - - BUILDING TO BE DEMOLISHED.
- - - STRUCTURE, PAVINGS AND VEGETATION ON SITE TO BE REMOVED
- TREE TO BE DEMOLISHED

POWERPOLE
EXISTING SEWER MANHOLE
ELECTRICAL / COMMS PITS





NCP - DESIGN & SITING GENERAL CODE

FOR ONE STOREY:

- MAJOR FRONT BOUNDARY SETBACK: 6m
- MINOR FRONT BOUNDARY SETBACK: 4.5m
- MINIMUM SIDE SETBACK: 1.8m
- REQUIRED COMBINED DISTANCE OF 4.5m WITH MINIMUM DISTANCE ON ANY ONE SIDE OF 1.8m.

- EXISTING TREES ON SITE
SEE LANDSCAPE DRAWINGS FOR FURTHER INFO
- EXISTING STREET TREES TO BE RETAINED
SEE LANDSCAPE DRAWINGS FOR FURTHER INFO
- PROPOSED STREET TREES
SEE LANDSCAPE DRAWINGS FOR FURTHER INFO
- SETBACKS DERIVED FROM NCP DESIGN AND SITING GENERAL CODE

NOTE: 150RCP LOCATED RUNNING ALONG SIDE BOUNDARY NOT PICKED UP ON SURVEY BUT IS NOTED ON DIAL BEFORE YOU DIG

OVERHEAD POWERLINES

POWERPOLE

EXISTING SEWER MANHOLE

ELECTRICAL / COMMS PITS



NCP - DESIGN & SITING GENERAL CODE

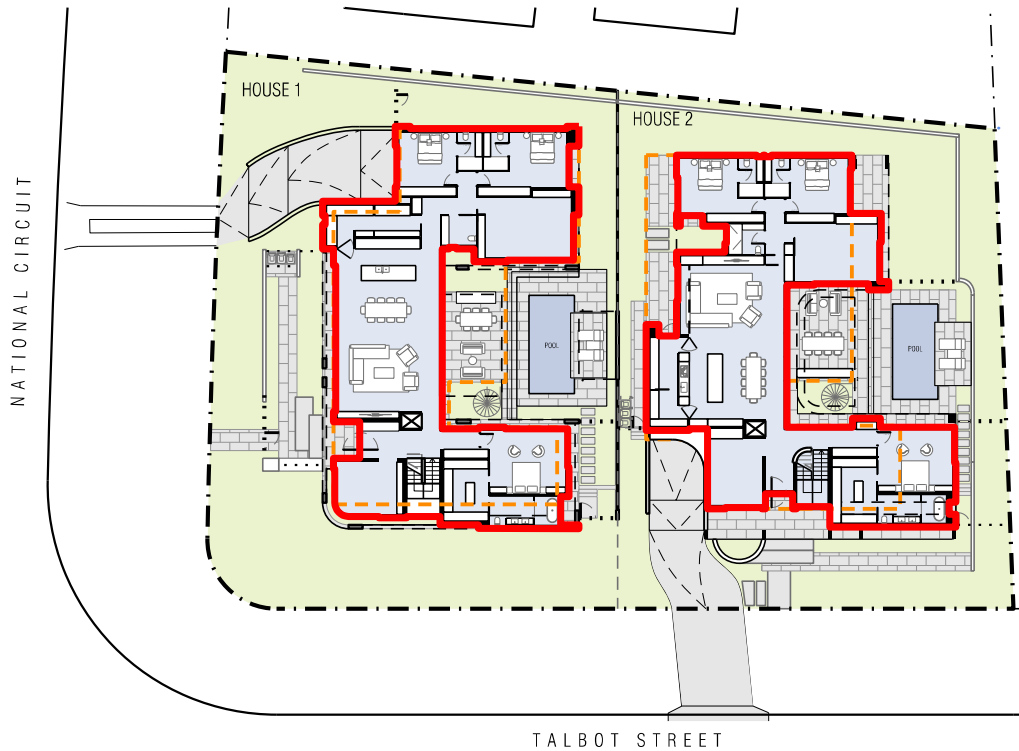
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NOTE: 150RCP LOCATED RUNNING ALONG SIDE BOUNDARY NOT PICKED UP ON SURVEY BUT IS NOTED ON DIAL BEFORE YOU DIG

- SIDE ENTRY GATE BEHIND BUILDING LINE
- OVERHEAD POWERLINE
- POWERPOLE
- EXISTING SEWER MANHOLE
- EXISTING ELECTRICAL / COMMS PITS
- EXISTING LIGHT POLE



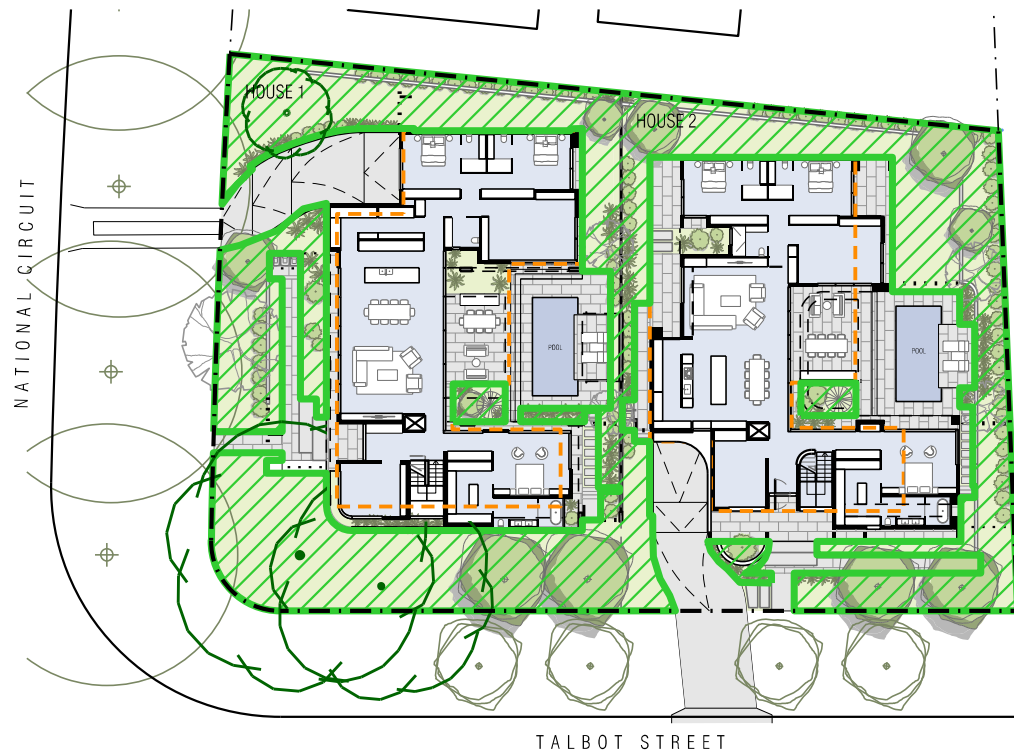
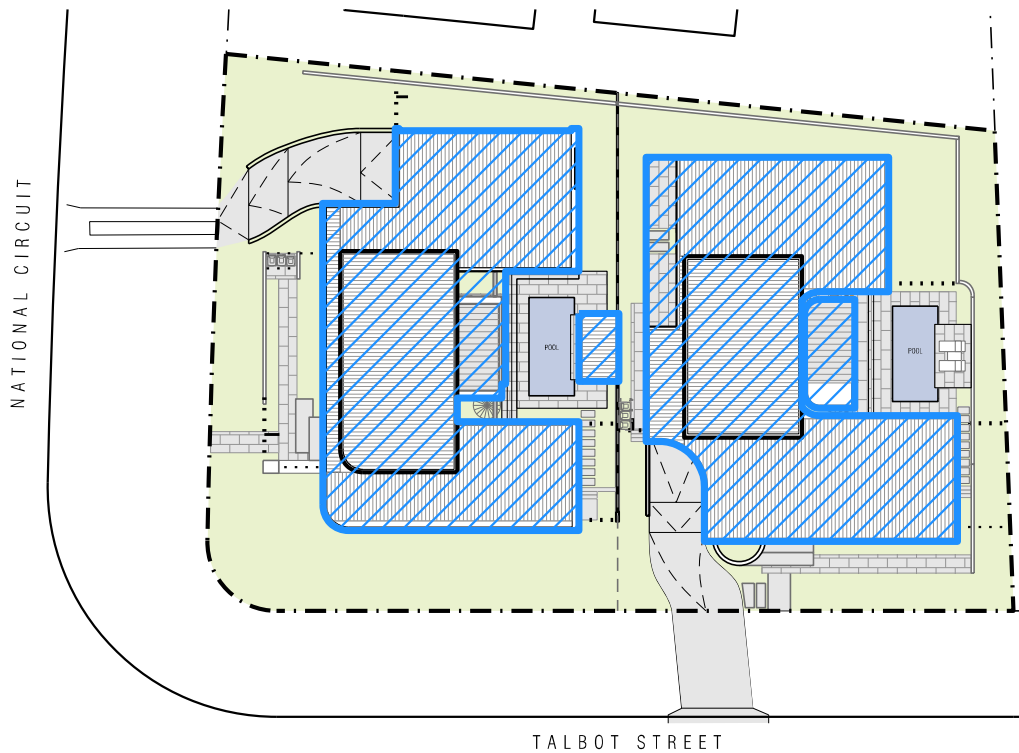
AREA SCHEDULE

	Block Size	Bsmt Garage	Bsmt Habitable	Ground	Total
House 1 - National	944	184	72	289	361
House 2 - Talbot	844	179	72	280	352
Total GFA					713
Site Area					1788

Plot ratio Max @ 40% (sqm)	715.2
Proposed Plot Ratio %	39.9%
Residual Area	2.20

Site Coverage Max @ 50% (sqm)	894.0
Building Footprint / Coverage (sqm)	770.1
Site Coverage %	43.1%
Over / Remain (sqm)	123.9

Soft Planting Min @ 40% (sqm)	715.2
Soft Planting	719.4
Soft Planting %	40.2%
Over / Remain (sqm)	-4.2



SOFT PLANTING AREA



EXISTING TREES ON SITE
SEE LANDSCAPE DRAWINGS FOR
FURTHER INFO

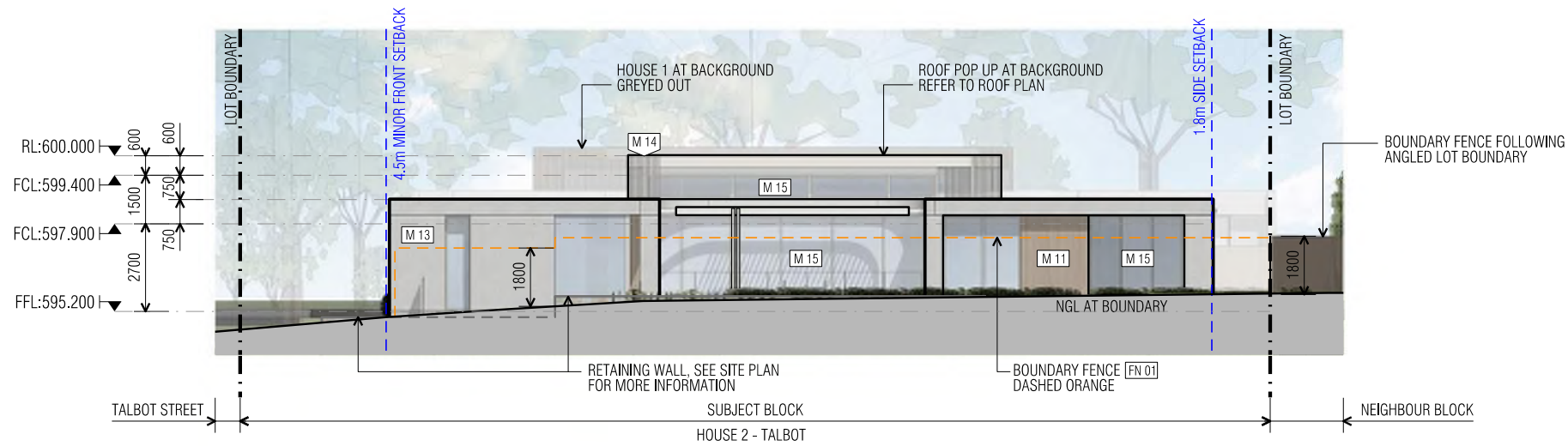
PROPOSED LANDSCAPE ON SITE
SEE LANDSCAPE DRAWINGS FOR
FURTHER INFO

EXISTING STREET TREES
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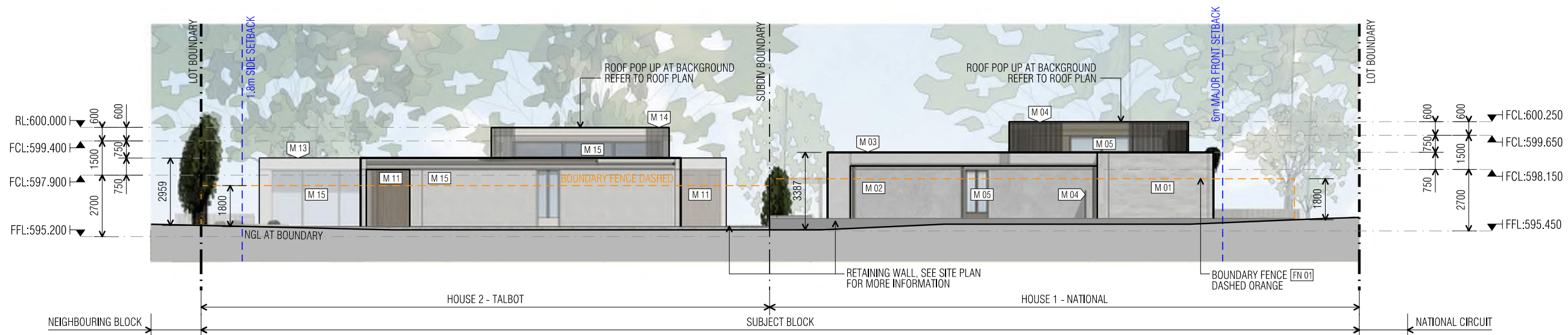
PROPOSED STREET TREES
SEE LANDSCAPE DRAWINGS FOR
FURTHER INFO







ELEVATION - NORTH
1:100 @ A3



ELEVATION - WEST
1:100 @ A3

LEGEND



M.01
LIGHT GREY BOADFORM
CONCRETE



M.02
MID GREY TEXTURED
CONCRETE RENDER



M.03
LIGHT GREY SMOOTH
CONCRETE RENDER



M.04
DARK BRONZE
ALUMINIUM VERTICAL
SLATS



M.05
DARK BRONZE WINDOW
/ DOOR FRAME WITH
CLEAR GLAZING



M.06
AMBER GLASS BRICK



M.11
VERTICAL TIMBER
CLADDING



M.12
STONE CLADDING



M.13
WARM LIGHT GREY
SMOOTH RENDER



M.14
LIGHT WARM GREY
ALUMINIUM VERTICAL
SLATS



M.15
LIGHT WARM GREY
WINDOW / DOOR FRAME
WITH CLEAR GLAZING



FN.01
TIMBER PALING FENCE





M.11
VERTICAL TIMBER CLADDING



M.12
STONE CLADDING



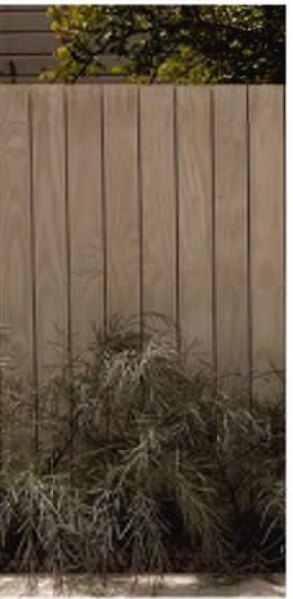
M.13
WARM LIGHT GREY SMOOTH RENDER



M.15
LIGHT WARM GREY ALUMINIUM VERTICAL SLATS



M.14
LIGHT WARM GREY WINDOW / DOOR FRAME WITH CLEAR GLAZING



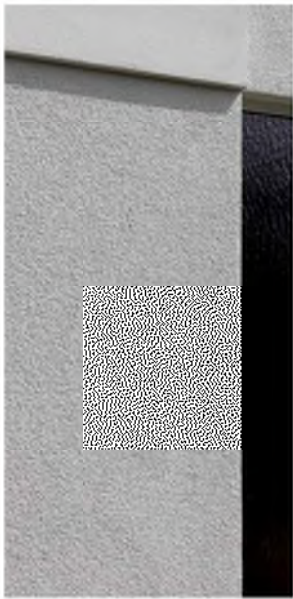
FN.01
TIMBER PALING FENCE



ARTIST'S IMPRESSION



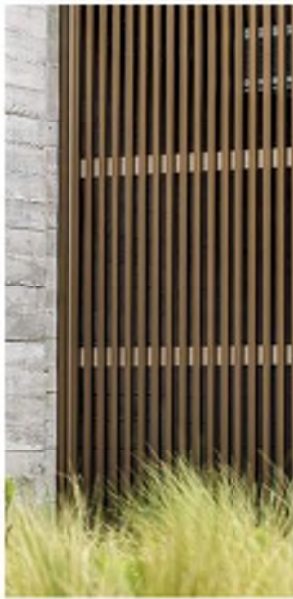
M.01
LIGHT GREY BOADFORM CONCRETE



M.02
MID GREY TEXTURED CONCRETE
RENDER



M.03
LIGHT GREY SMOOTH CONCRETE
RENDER



M.04
DARK BRONZE ALUMINIUM VERTICAL
SLATS



M.05
DARK BRONZE WINDOW / DOOR FRAME
WITH CLEAR GLAZING



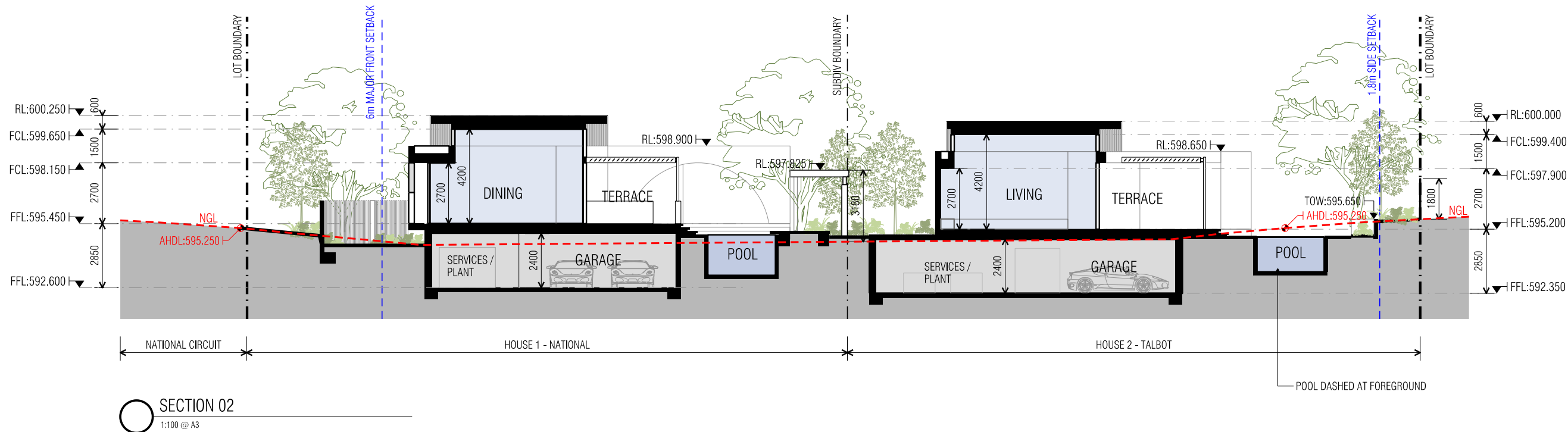
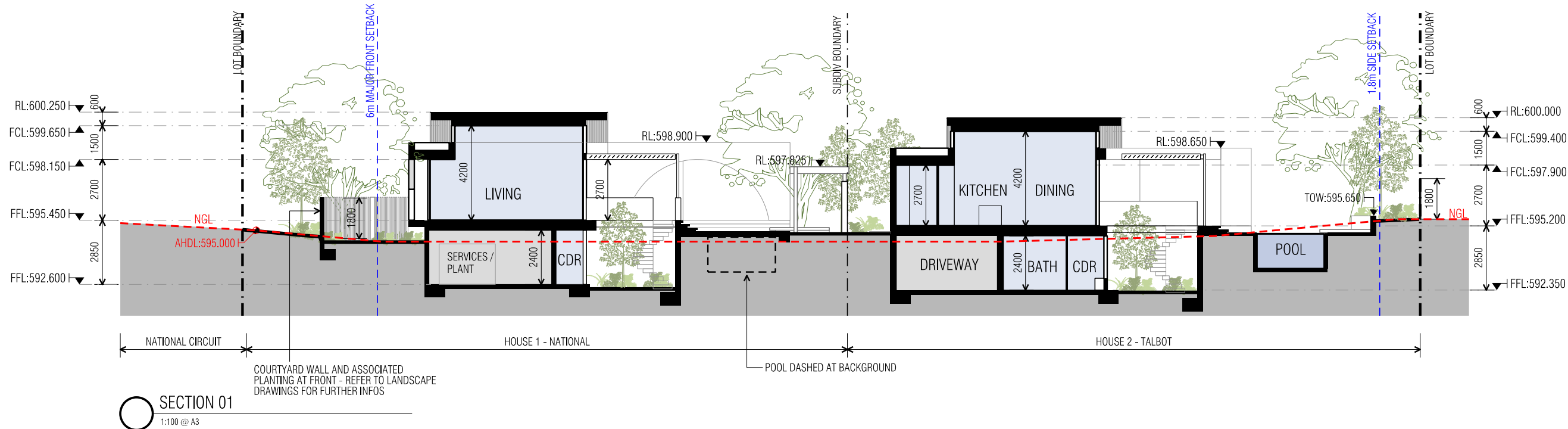
M.06
AMBER GLASS BRICK

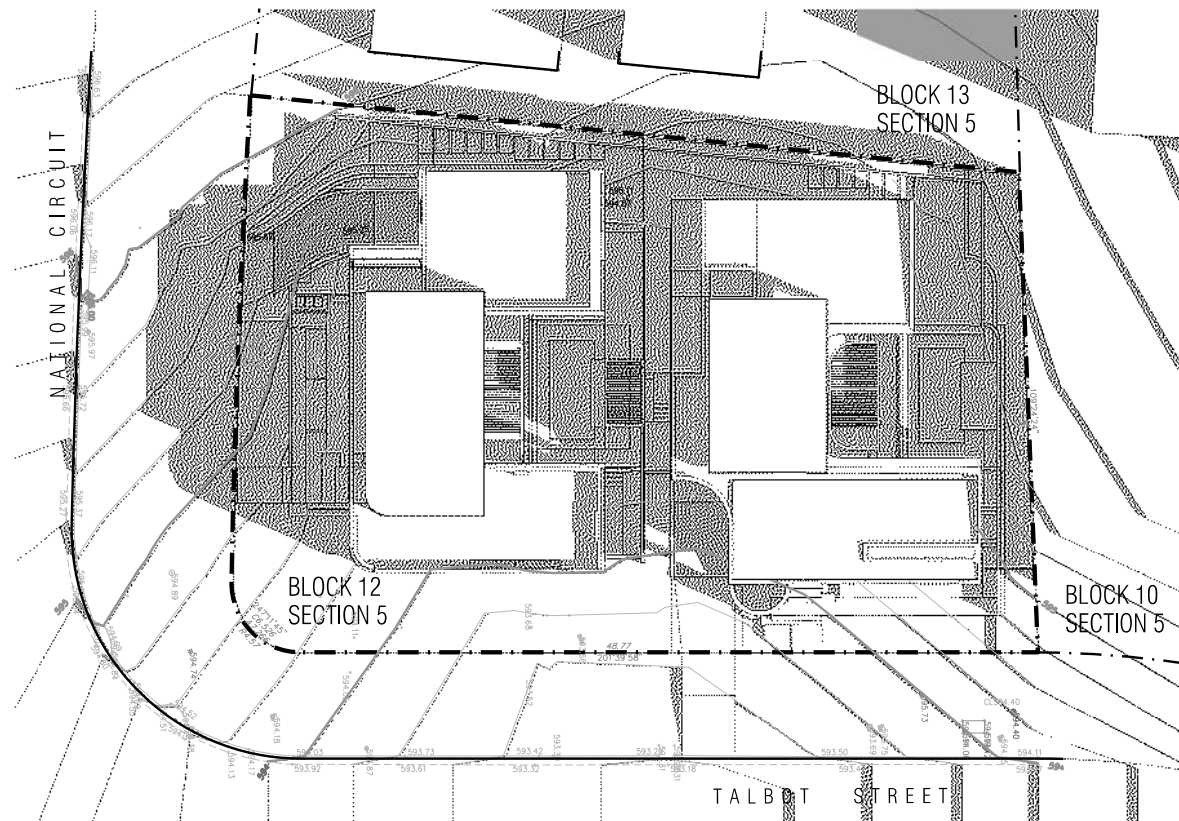


FN.01
TIMBER PALING FENCE

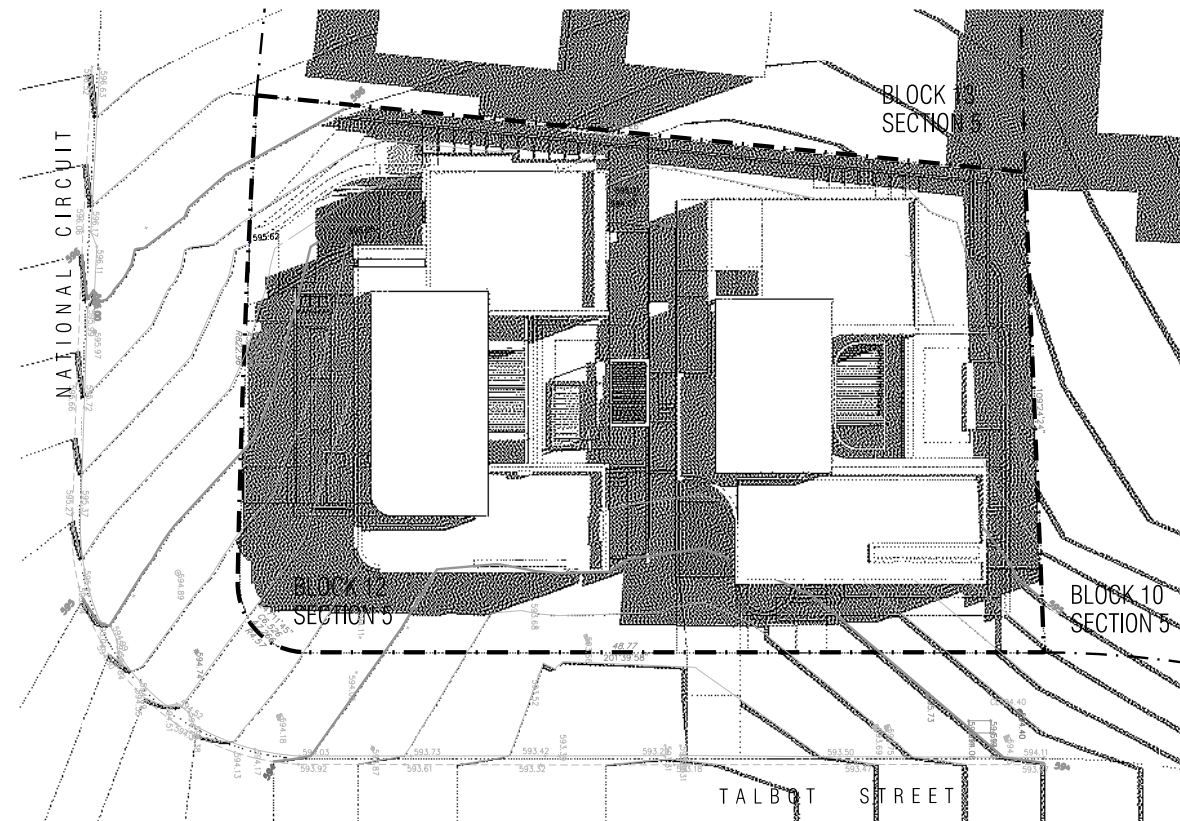


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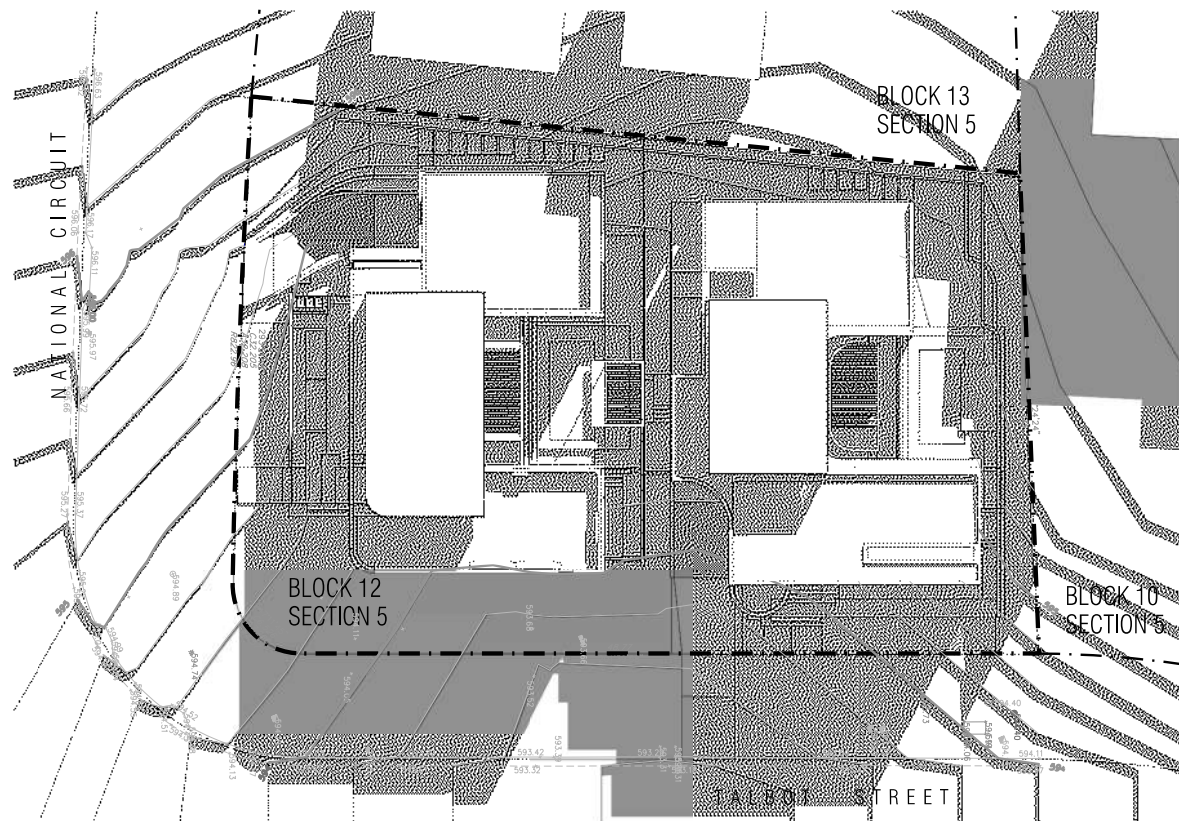




○ SHADOW DIAGRAM - WINTER SOLSTICE (JUN 21) - 9AM
1:500 @ A3



○ SHADOW DIAGRAM - WINTER SOLSTICE (JUN 21) - 12PM
1:500 @ A3



○ SHADOW DIAGRAM - WINTER SOLSTICE (JUN 21) - 3PM
1:500 @ A3

