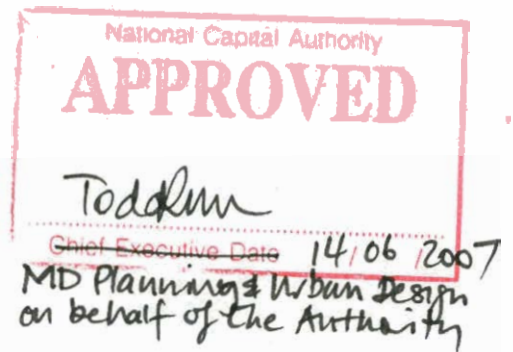




Australian Government
National Capital Authority



National Capital Plan

Development Control Plan

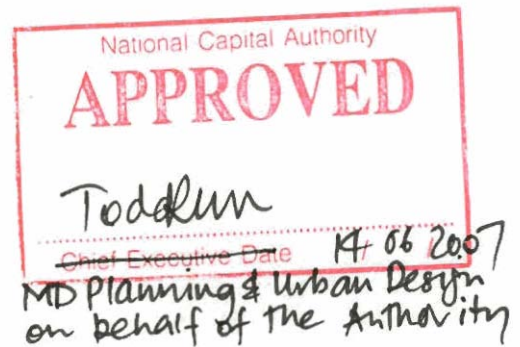
No: 171/06/0003

Adelaide Avenue

May 2007



Development Control Plan
No: 171/06/0003
Adelaide Avenue



1 Preamble

- 1.1 The subject sites are adjacent to Adelaide Avenue, which is a Main Avenue as defined in the National Capital Plan (the Plan). Special Requirements for Main Avenues under section 2.3 of the Plan apply to the sites, which state:

"Development is to conform to Development Control Plans (agreed by the National Capital Authority) which seeks to secure the integrity of the Main Avenues as approaches to the Parliamentary Zone and ensure that the setting, buildings and purposes of development enhance that function."

- 1.2 This DCP supersedes the previously approved DCP No. 171/02/0009.
- 1.3 The provisions of this Development Control Plan (DCP) apply to sites fronting Adelaide Avenue between Empire Circuit and Kent/Novar Street and are identified as areas A, B1, B2, B3, C, D & E in the DCP Drawing Nos. 171/06/0003A. In the absence of a provision in this plan to the contrary, all development should accord with the relevant provisions of the Territory Plan.

2 Planning and Urban Design Objectives

- 2.1 Enhance the national significance of Adelaide Avenue as one of Griffin's Main Avenues and as the main southern approach to Parliament House and Parliamentary Zone and also as a processional route to Government House.
- 2.2 Maintain and reinforce the character of Adelaide Avenue as a landscape corridor with buildings set within a landscape setting.
- 2.3 Allow for buildings with appropriate scale relationship to Adelaide Avenue while transitioning to adjacent low-rise suburbs of Deakin and Yarralumla.
- 2.4 Ensure high level of amenity is provided in site layout and urban design and that noise impacts are mitigated through appropriate building design, materials and construction.
- 2.5 Active uses (such as cafes or restaurants) are encouraged at the ground floor level of development at the corner of Grose Street and Hopetoun Circuit on Area B1, and fronting Hopetoun Circuit on Area B2 in Deakin.
- 2.6 Ensure that new developments exemplify sustainability principles and demonstrate excellence in urban design, landscape and architecture.
- 2.7 Encourage modulation, tactility, silhouette and human scale in relation to built form and streetscape design.

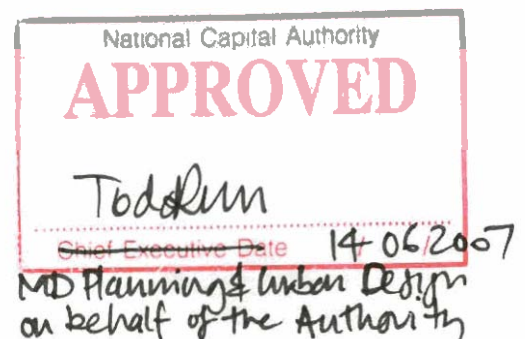
- 2.8 The corner sites on Hopetoun Circuit (Areas B1 and B2), at the exit from or entry to Adelaide Avenue should be developed with buildings of a scale and form that help to identify Deakin local centre from Adelaide Avenue by emphasising corners and the alignment of Hopetoun Circuit.
- 2.9 Architectural design and construction should exhibit design excellence, demonstrate sustainable features using a palette of high quality and durable materials.

3. Land Use

- 3.1 Area B1 – Allow higher density residential development and/or redevelopment of existing uses. The building envelope controls as set out in this DCP shall determine the maximum permissible Gross Floor Area (GFA) of buildings.
- 3.2 Area B2 – Allow higher density residential development, community uses and/or redevelopment of the existing uses. The building envelope controls as set out in this DCP shall determine the maximum permissible Gross Floor Area (GFA) of buildings.
- 3.3 Area B3 – Higher density residential uses are permitted. The building envelope controls as set out in this DCP shall determine the maximum permissible Gross Floor Area (GFA) of buildings.
- 3.4 Area C should be maintained as “open space”.

4. Building Envelopes

- 4.1 Areas A, D and E – Building height for development in this area shall be a maximum of two storeys above the natural ground level.
- 4.2 Area B1 – Development fronting Hopetoun Circuit shall generally be four storeys with recessed elements up to a maximum RL600. Development at the rear of the site fronting Adelaide Avenue will generally be five storeys with recessed elements up to maximum RL 603. Development at the rear of the site fronting Grose Street shall generally be six storeys with recessed elements up to maximum RL606, subject to design excellence. The upper storeys are to be recessed sufficient to retain the appearance of the nominated storeys from the street. Refer to DCP Drawing No. 171/06/0003B which reflects the building height requirements for different Building Zones within this area.
- 4.3 Area B2 – Development fronting Hopetoun Circuit shall generally be four storeys with recessed elements up to a maximum RL600. Development on the eastern portion of the site area shall generally be 4 storeys with recessed elements up to a maximum RL603. The upper storeys are to be recessed sufficient to retain the appearance of the nominated storeys from the street. Refer to DCP Drawing No. 171/06/0003C which reflects the building height requirements for different Building Zones within this area.



- 4.4 Area B3 – Development fronting Hampton Circuit shall generally be 2 storeys with recessed elements up to a maximum RL593. Development adjacent Adelaide Avenue shall generally be 4 storeys with recessed elements up to a maximum building height of RL600. The upper storeys are to recessed sufficient to retain the appearance of the nominated storeys from the street. Refer to DCP Drawing No. 171/06/0003D which reflects the building height requirements for different Building Zones within this area.
- 4.5 Area C – No building development will be allowed in this area.

5. Building Setback

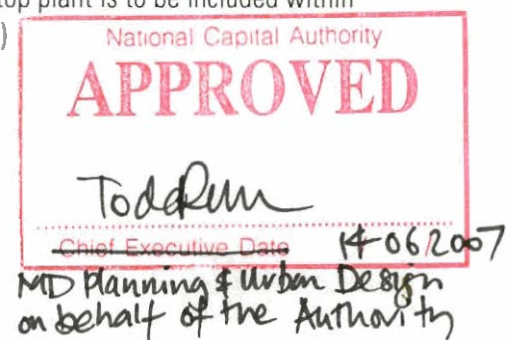
- 5.1 ~~Area A~~ – Buildings or significant structures in this area should be setback a minimum of three metres from the property boundary along the Adelaide Avenue frontage.
- 5.2 Areas B1, B2 and B3 – Buildings or significant structures in this area should be setback in accordance with the requirements set out in DCP Drawing No. 171/06/0003B; 171/06/0003C; and 171/06/0003D .
- 5.3 Areas D and E – Buildings or significant structures in this area should be setback a minimum of 10 metres from the Adelaide Avenue side property boundary.
- 5.4 Minor encroachment of buildings, building elements or structures may be permitted within the setback areas provided the development meets the objectives set out under Section 2 of this DCP.

6 Boundary & Courtyard Walls

- 6.1 Careful consideration should be given to the design and detailing of boundary or courtyard walls proposed as part of development fronting Adelaide Avenue. Continuous solid unarticulated walls should be avoided along the Adelaide Avenue frontage.
- 6.2 Boundary or courtyard walls should be carefully integrated with building and landscape design and they should provide adequate screening of all unsightly elements such as clotheslines, garden sheds, storage sheds and service areas when viewed from Adelaide Avenue.

7 Roofscape Design

- 7.1 Careful consideration should be given to the roof form and roofscape of buildings as viewed from Adelaide Avenue.
- 7.2 Roof top plants and equipment, if required, must be enclosed and the enclosure shall be carefully integrated with the roof form and design of the building. All such plant and equipment shall be totally concealed from view from Adelaide Avenue. Rooftop plant is to be included within nominated maximum RL's (see Section 4. Building Envelopes)

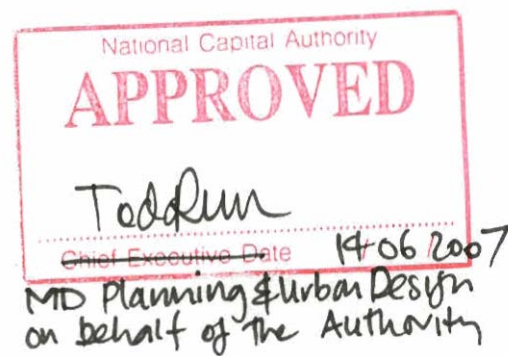


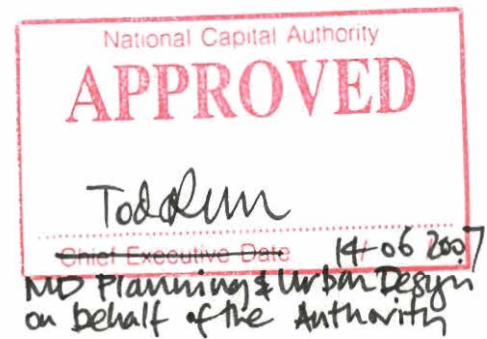
8 Building Materials & Colours

- 8.1 The facades and roofs of buildings shall be constructed of high quality, durable and low maintenance materials. Highly reflective external materials should be avoided.
- 8.2 Building materials, construction and finishes should be responsive to microclimate issues. Use of sunscreen devices as articulation elements should be employed to achieve climate responsive facades.

9 Landscape and Streetscape Design

- 9.1 A high standard of landscape design is required for all sites with particular attention given to the Adelaide Avenue frontage. The existing "landscape corridor" character of Adelaide Avenue should be maintained and enhanced with native trees and shrubs planted in the front setback areas and the verges of Adelaide Avenue.
- 9.2 Site cover of new buildings should be limited to enable the setting aside of appropriately scaled landscaped space and the planting of deep rooted trees. Refer to Development Control Plan Drawing No. 171/06/0003B-D.
- 9.3 All new developments must include a landscape plan that provides for planting of native trees of advanced species in an informal composition to establish a unified landscape character for Adelaide Avenue.
- 9.4 Significant groups of mature trees on site and in the verge along the Adelaide Avenue frontage should be retained where practicable and integrated with new plantings proposed as part of a development.
- 9.5 Landscape and streetscape design should be of high quality and use a coordinated palette of pavement materials, street furniture and lighting.
- 9.6 In Areas B1 and B2 footpath areas should be wide enough to cater for pedestrians and allow for seating areas, outdoor cafes, planting and urban art.
- 9.7 Pedestrian entries should be clearly visible from the public domain.





10 Vehicular Access & Car Parking

- 10.1 A traffic impact assessment is to be submitted in relation to development proposals for Areas B1, B2 and B3.
- 10.2 No direct vehicular access shall be permitted to sites from Adelaide Avenue or Hopetoun Circuit.
- 10.3 On-street parking for visitors may be permissible on the side streets but not on Adelaide Avenue.
- 10.4 Car parking that is underground or under slope within the setback areas on the Adelaide Avenue side will only be permitted where it cannot be seen from the Avenue and where it does not affect the planting of native trees consistent with the landscape provisions set out under Section 9 of this DCP.
- 10.5 Noise impacts are to be mitigated through appropriate building design, materials and construction.
- 10.6 Car parking for development on Area B1, B2 and B3 should be provided in basements concealed from public areas and Adelaide Avenue.

11 Signs

- 11.1 Careful consideration should be given to the integration of signs with building design and landscaping. All building or free-standing signs proposed on site should be consistent with the relevant signs policies of the Territory Plan and the National Capital Plan. Should an inconsistency arise between the policies of the two plans, the National Capital Plan policies shall prevail.

12 Mechanical Plants & Equipment

- 12.1 All mechanical plants and equipment should be contained within buildings or located within service enclosures appropriately screened from Adelaide Avenue. Visually exposed air conditioning units and plants that are visible from Adelaide Avenue shall not be permitted.

13 Electrical Substation, Storage & Service Areas

- 13.1 Careful consideration should be given to the siting of electrical substation, storage and service areas (including garden sheds, storage sheds, clotheslines) as viewed from Adelaide Avenue. Such structures or areas must be carefully sited and totally screened from view from Adelaide Avenue.

14 Privacy, Overlooking and Security

- 14.1 Privacy, overlooking and security of nearby Embassies and adjoining properties must be mitigated through appropriate building design, landscape design and construction.

15 DCP Drawings

- 15.1 The above provisions should be read in conjunction with the DCP Drawings Nos. 171/06/0003A; 171/06/0003B; 171/06/0003C; and 171/06/0003D all of which form part of this DCP.



Australian Government
National Capital Authority

ADELAIDE AVENUE

DRAFT DEVELOPMENT CONTROL PLAN

DCP NO 171/06/0003A

7 DECEMBER 2006



AREA TO WHICH THE DCP APPLIES

PLANNING AND URBAN DESIGN OBJECTIVES

- Enhance the national significance of Adelaide Avenue as one of Griffin's Main Avenues and as the main southern approach to Parliament House and Parliamentary Zone and also as a processional route to Government House.
- Maintain and reinforce the character of Adelaide Avenue as a landscape corridor with buildings set within a landscape setting.
- Allow for buildings with appropriate scale relationship to Adelaide Avenue while transitioning to adjacent low-rise suburbs of Deakin and Yarralumla.
- Ensure high level of amenity is provided in site layout and urban design and that noise impacts are mitigated through appropriate building design, materials and construction.
- Active uses (such as cafes or restaurants) are encouraged at the ground floor level of development at the corner of Grosse Street and Hopetoun Circuit on Area B1, and fronting Hopetoun Circuit on Area B2 in Deakin.
- Ensure that new developments exemplify sustainability principles and demonstrate excellence in urban design, landscape and architecture.
- Encourage modulation, facility, silhouette and human scale in relation to built form and streetscape design.
- The corner sites on Hopetoun Circuit (Areas B1 and B2), at the exit from or entry to Adelaide Avenue should be developed with buildings of a scale and form that help to identify Deakin local centre from Adelaide Avenue by emphasising corners and the alignment of Hopetoun Circuit.
- Architectural design and construction should exhibit design excellence, demonstrate sustainable features using a palette of high quality and durable materials.

BUILDING HEIGHT FOR DEVELOPMENT THIS AREA SHALL BE A MAXIMUM OF TWO STOREYS ABOVE THE NATURAL GROUND LEVEL.

BUILDING SHOULD BE SETBACK A MINIMUM OF 10 METRES FROM THE ADELAIDE AVENUE PROPERTY BOUNDARY.

SEE DETAILED PROVISIONS FOR AREAS B1, B2 & B3 IN DRAWINGS DCP NO :

- 171/06/0003 B
- 171/06/0003 C
- 171/06/0003 D

BUILDING HEIGHT FOR DEVELOPMENT IN THIS AREA SHALL BE A MAXIMUM OF TWO STOREYS ABOVE THE NATURAL GROUND LEVEL.

BUILDING SHOULD BE SETBACK A MINIMUM OF 10 METRES FROM THE ADELAIDE AVENUE PROPERTY BOUNDARY.

AREA C SHOULD BE MAINTAINED AS OPEN SPACE.

- AREAS COVERED BY DEVELOPMENT CONTROL PLAN
- DESIGNATED AREAS NOT COVERED BY THIS DCP

A HIGH STANDARD OF LANDSCAPE DESIGN IS REQUIRED FOR ALL SITES WITH PARTICULAR ATTENTION GIVEN TO THE ADELAIDE AVENUE FRONTAGE. THE EXISTING "LANDSCAPE CORRIDOR" CHARACTER OF ADELAIDE AVENUE SHOULD BE MAINTAINED AND ENHANCED WITH NATIVE TREES AND SHRUBS PLANTED IN THE FRONT SETBACK AREAS AND THE VERGES OF ADELAIDE AVENUE.

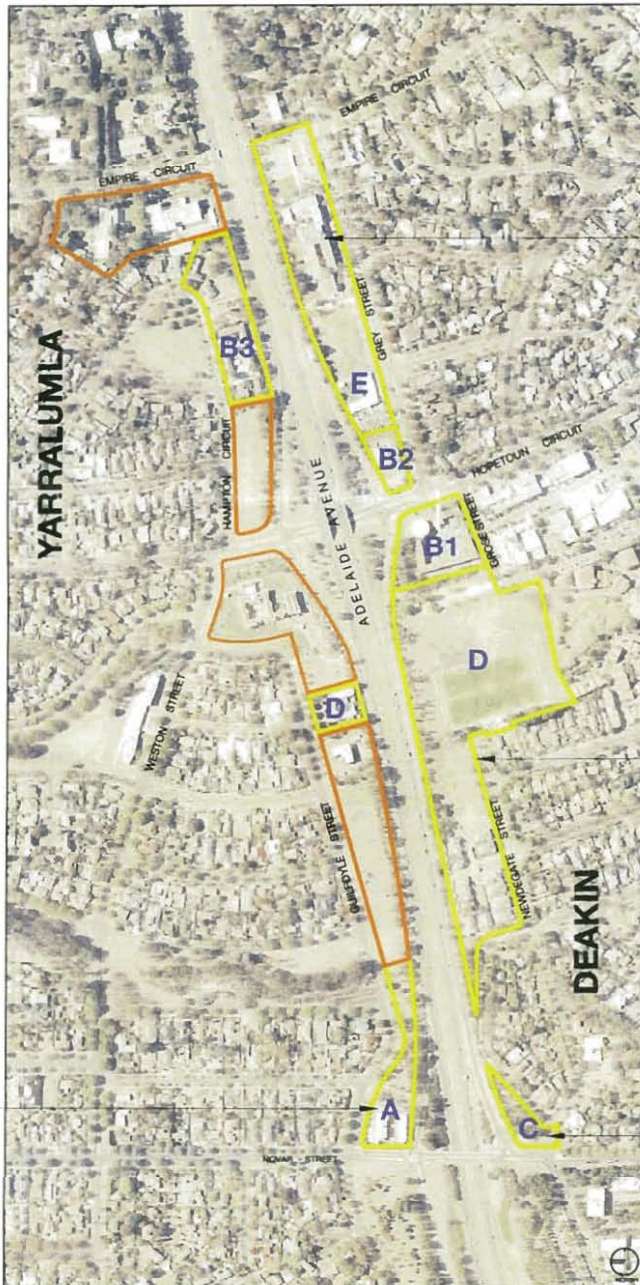
SIGNIFICANT GROUPS OF MATURE TREES ON ALL SITES AND IN THE VERGE ALONG THE ADELAIDE AVENUE FRONTAGE SHOULD BE RETAINED WHERE PRACTICABLE AND INTEGRATED WITH NEW PLANTINGS PROPOSED AS PART OF A DEVELOPMENT.

ALL NEW DEVELOPMENTS MUST INCLUDE A LANDSCAPE PLAN THAT PROVIDES PLANTING OF NATIVE TREES OF ADVANCED SPECIES IN AN INFORMAL COMPOSITION TO ESTABLISH A UNIFIED LANDSCAPE CHARACTER FOR ADELAIDE AVENUE.

NO DIRECT VEHICLE ACCESS SHALL BE PERMITTED TO SITES FROM ADELAIDE AVENUE OR HOPETOUN CIRCUIT.

BUILDING HEIGHT FOR DEVELOPMENT IN THIS AREA SHALL BE A MAXIMUM OF TWO STOREYS ABOVE THE NATURAL GROUND LEVEL.

BUILDINGS SHOULD BE SETBACK A MINIMUM OF THREE METRES FROM THE PROPERTY BOUNDARY ALONG THE ADELAIDE AVENUE FRONTAGE.



DEVELOPMENT CONTROL PLAN

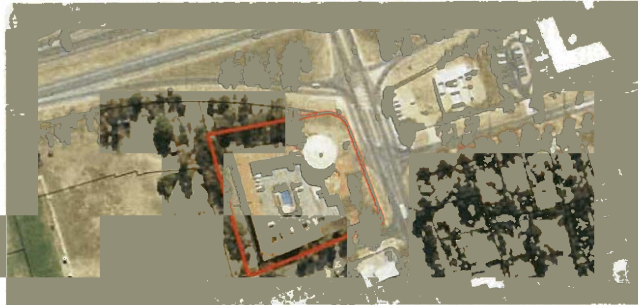
National Capital Authority
APPROVED

Todd Kim

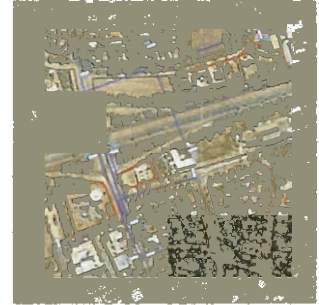
14/06/2007
MD Planning & Urban Design
on behalf of the Authority

ADELAIDE AVENUE
DRAFT DEVELOPMENT CONTROL PLAN
B1

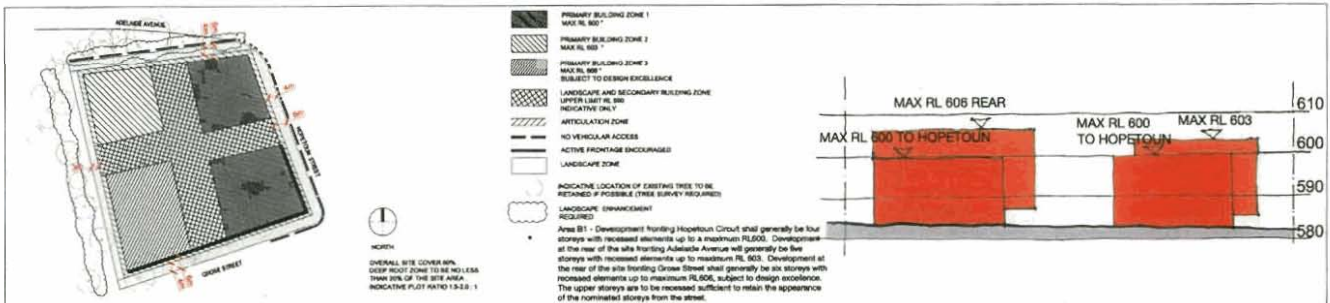
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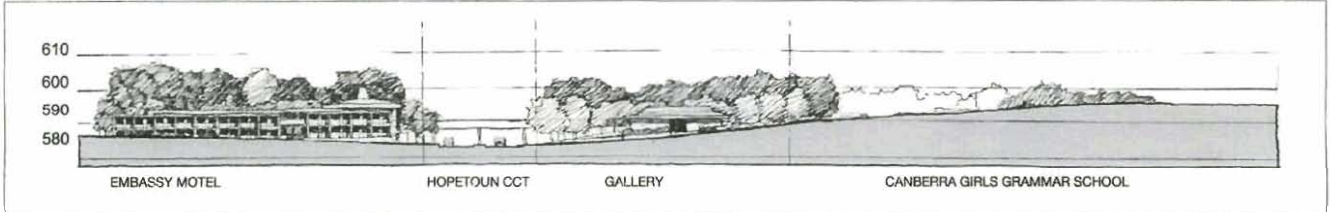


OBJECTIVES



ELEVATION FROM HOPETOON CIRCUIT TOWARDS SAUDI EMBASSY

SECTION 1 - EXISTING



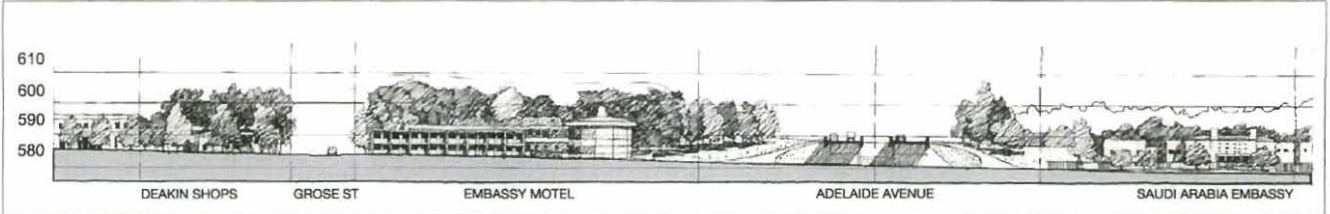
ELEVATION FROM HOPETOON CIRCUIT TOWARDS SAUDI EMBASSY

SECTION 1 - PROPOSED



ELEVATION FROM ADELAIDE AVENUE TOWARDS WODEN TOWN CENTRE

SECTION 2 EXISTING



ELEVATION FROM ADELAIDE AVENUE TOWARDS WODEN TOWN CENTRE

SECTION 2 PROPOSED



National Capital Authority
APPROVED

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14-06-2007
MD Planning & Urban Design
on behalf of the Authority

ADELAIDE AVENUE

DRAFT DEVELOPMENT CONTROL PLAN

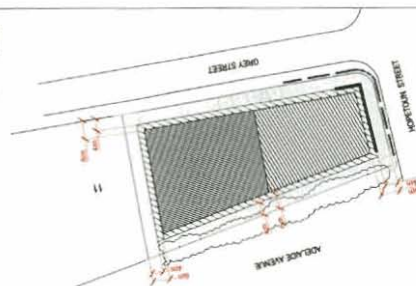
B2

DCP NO 171/06/0003C

7 DECEMBER 2006



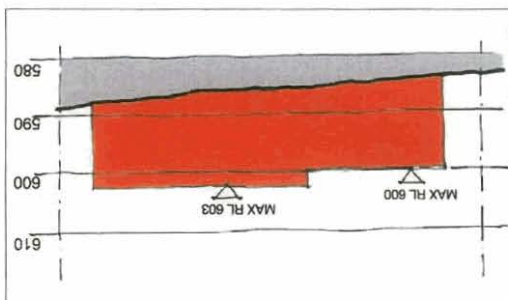
OBJECTIVES



Overall site layout plan showing the proposed development area. The site is bounded by Adelaide Avenue to the north, Grey Street to the east, and Hopetoun Circuit to the south. The proposed development area is highlighted in red.

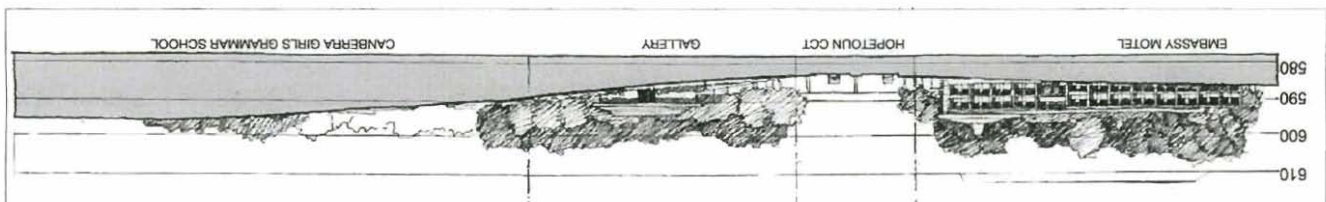
Legend:

- PROPOSED BUILDING ZONE 1 MAX
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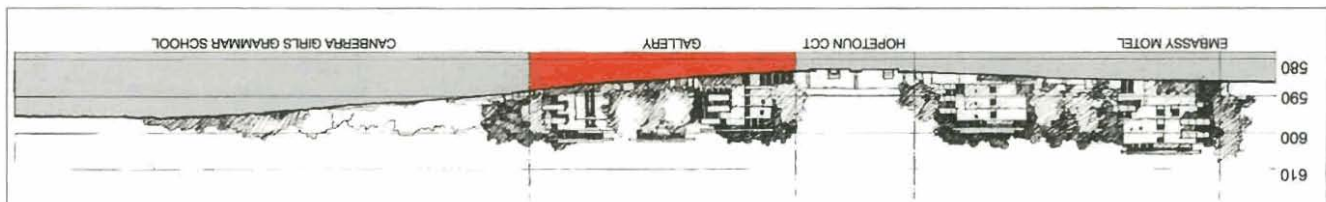
ELEVATION FROM HOPETOUN CIRCUIT TOWARDS SAUDI EMBASSY

SECTION 1 - EXISTING



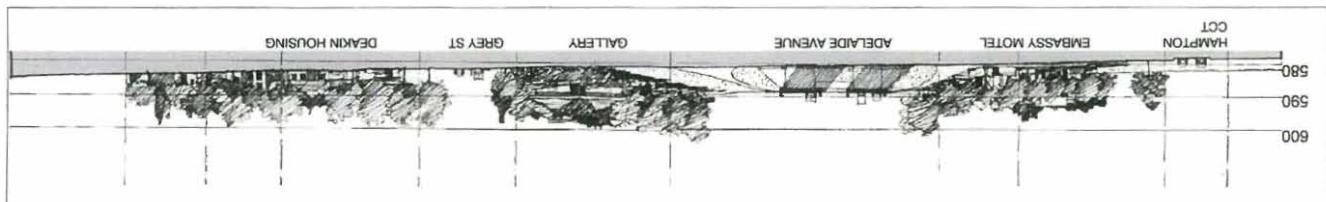
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SECTION 1 - PROPOSED



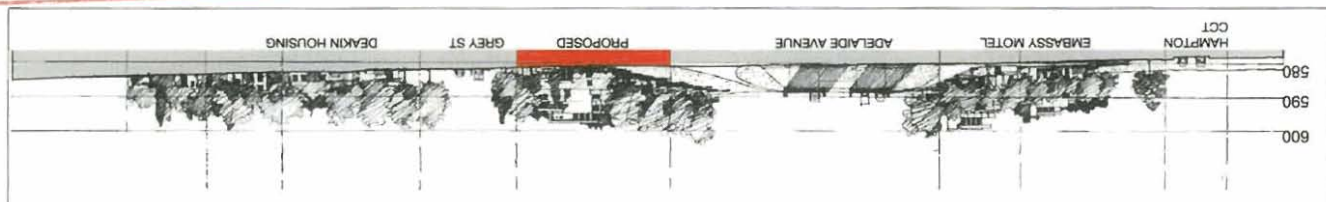
ELEVATION FROM ADELAIDE AVENUE TOWARDS WODEN TOWN CENTRE

SECTION 5 EXISTING



ELEVATION FROM ADELAIDE AVENUE TOWARDS WODEN TOWN CENTRE

SECTION 5 PROPOSED



APPROVED
National Capital Authority

Toddman

14 of 2007
and planning & urban design
on behalf of the community

ADELAIDE AVENUE

DRAFT DEVELOPMENT CONTROL PLAN

B3

DCP NO 171/06/0003D

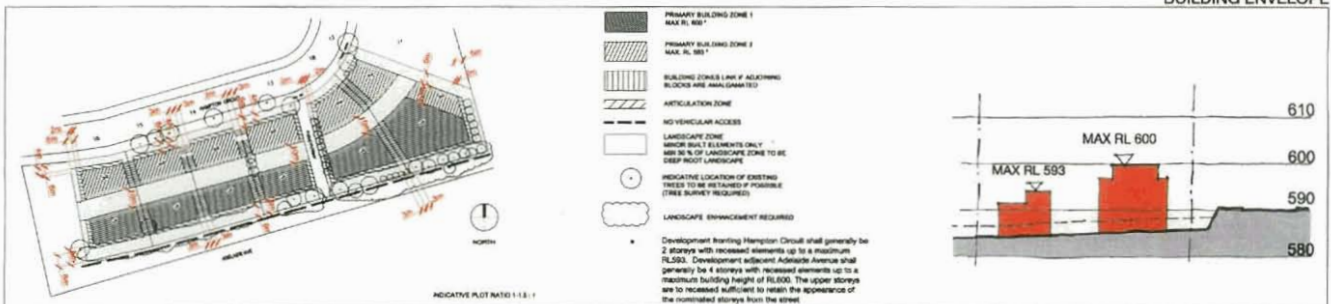
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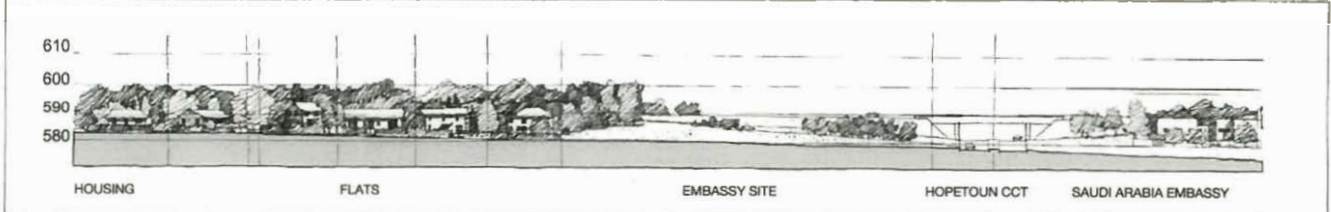


BUILDING ENVELOPE



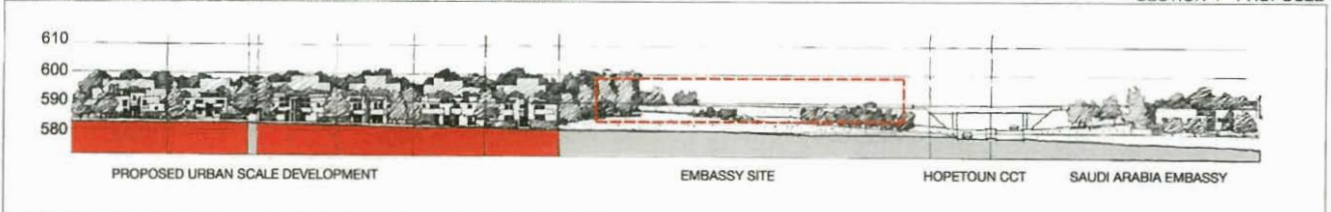
ELEVATION FROM HOPETOUN CIRCUIT TOWARDS DEAKIN TOWN CENTRE

SECTION 4 - EXISTING



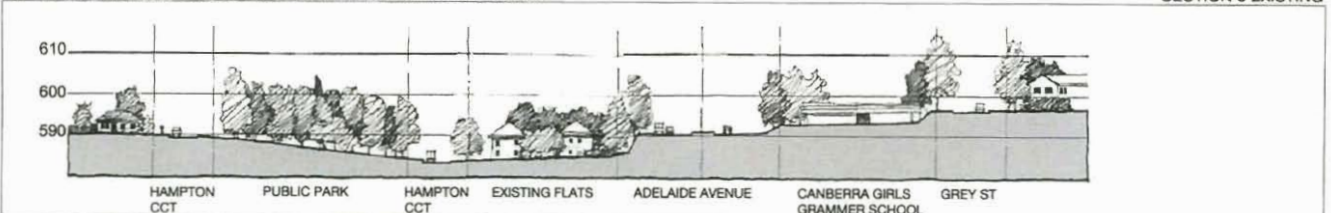
ELEVATION FROM HOPETOUN CIRCUIT TOWARDS DEAKIN TOWN CENTRE

SECTION 4 - PROPOSED



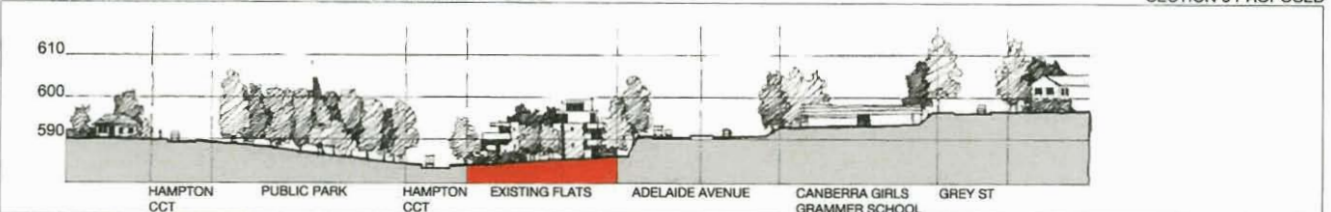
ELEVATION FROM ADELAIDE AVENUE TOWARDS PARLIAMENT HOUSE

SECTION 6 EXISTING

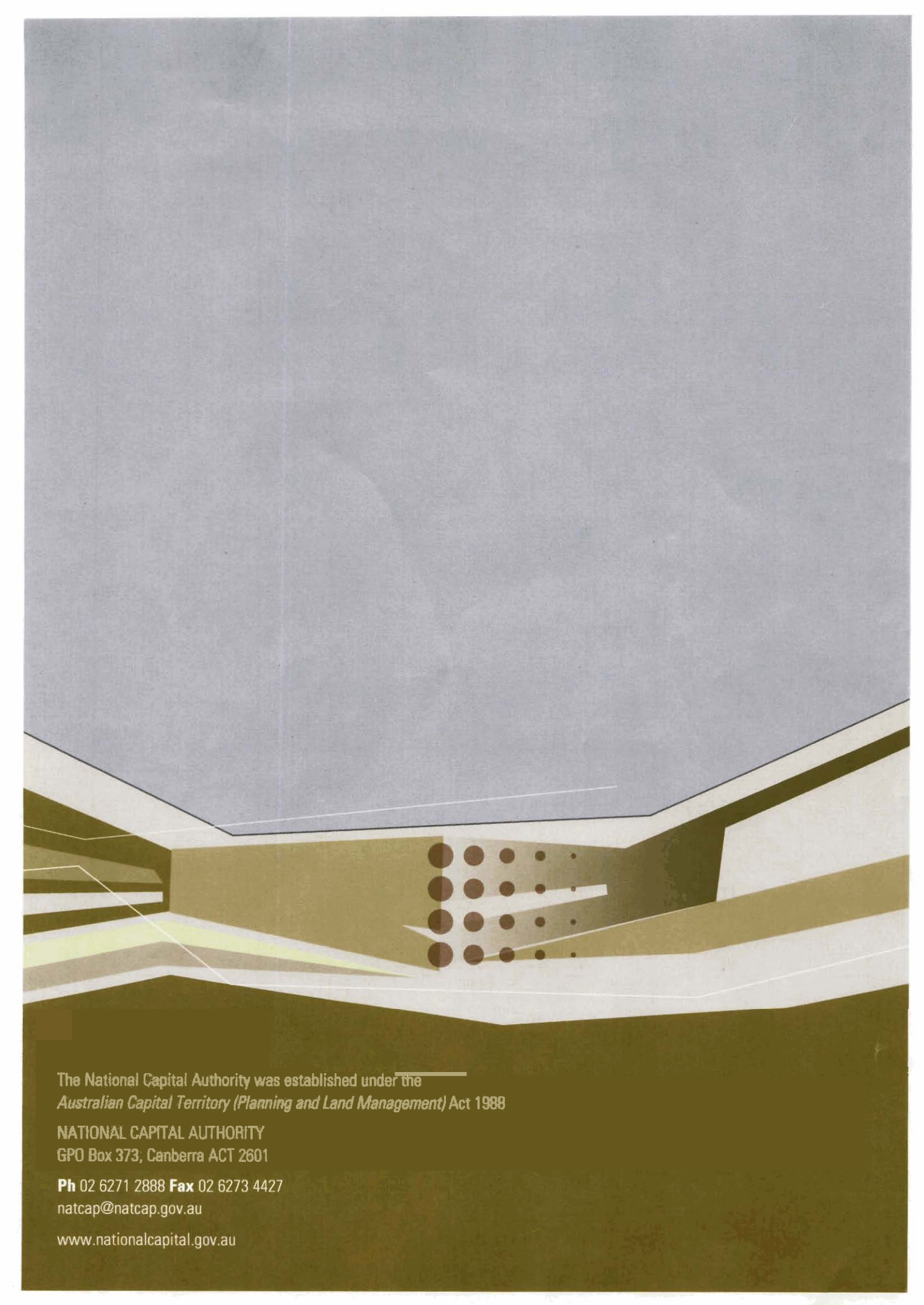


ELEVATION FROM ADELAIDE AVENUE TOWARDS PARLIAMENT HOUSE

SECTION 6 PROPOSED



National Capital Authority
APPROVED
TODD M
Chief Executive Date 14/06/2007
MD Planning & Urban Design
on behalf of the Authority



The National Capital Authority was established under the
Australian Capital Territory (Planning and Land Management) Act 1988

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