



**Australian Government**  
**National Capital Authority**

# Development Control Plan 18/01 Block 14 Section 42 Campbell

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Chief Planner

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# 1 Preamble

The site is adjacent to the Fairbairn Avenue, an Approach Route as defined in the National Capital Plan (the Plan). Special Requirements for Approach Routes apply 'to development on all land (not included within any Designated Area) which fronts directly onto the Approach Routes AND is not more than 200 metres from their middle lines'. Special Requirements for Approach Routes under Section 4.24 of the Plan apply to the site and state:

*Development along the identified Approach Routes is to conform to Development Control Plans agreed by the National Capital Authority, which seek to enhance the surrounding predominantly rural character and landscape outside the urban areas. As the Approach Routes enter the built up areas, the emphasis will shift to a more formal character.*

The provisions of this Development Control Plan (DCP) apply to Block 14 Section 42 Campbell. In the absence of a provision in the plan to the contrary, all development should accord with the relevant provisions of the Territory Plan.

The subject area is Territory Land outside the Designated Area of the Plan and therefore the ACT Government is responsible for assessing development applications relating to the subject area. In doing so, the ACT Government is required to ensure any proposal is not inconsistent with the DCP or the Plan.

The Fairbairn Avenue road reservation forms part of the Designated Areas of the Plan and therefore the National Capital Authority (NCA) is responsible for granting works approval within the Fairbairn Avenue road reservation.

This Development Control Plan (DCP) is based on planning and urban design investigations undertaken to determine the capability of the site for redevelopment. An indicative development plan has been prepared based on these investigations.

# 2 Site Description

The site has a total area of approximately 3832m<sup>2</sup> hectares and is currently used as a residence for the Anglican Archbishop of the Canberra & Goulburn Diocese. The site has a main frontage of approximately 42 metres to Rosenthal Street and a rear frontage of approximately 76 metres to Fairbairn Avenue in Campbell. To the east there is a narrow parcel of Territory land (Block 16 Section 42) that separates the subject site from the residential blocks on Rosenthal Street which acts as a public walkway between Rosenthal and Fairbairn Avenue. The only existing vehicle access/egress is via a single cross-over from Rosenthal Street.

The site is elevated at its northern end with a fall towards Fairbairn Avenue of approximately 12 metres, and a cross-fall to the eastern boundary of between 0 and 2 metres. The lowest point on the site is in the south east corner adjacent to the Fairbairn Avenue road reserve.

Immediate land uses adjacent to the site include roads and residential dwellings that either face the site across Rosenthal Street or share a common boundary (eastern side). Land to the west of the site is dedicated Territory managed parklands.

Parts of the site have extended views outwards to Mt Ainslie to the north, and to adjacent bushland. The northern edge of the site has views to housing across Rosenthal Street.

The site is visible from a very short distance along Fairbairn Avenue in both directions, and from a short distance along Rosenthal Street in both directions. It is also visible in part from adjacent residential dwellings in Rosenthal Street, and from a small part of the Territory managed parklands to the west.

There are a number of native and exotic tree species on site.

### 3 Planning and Urban Design Objectives

The site is to be redeveloped to a quality appropriate to its location adjacent to an Approach Route. Specifically, development should:

- Respect the natural features, character and scale of the landscape in the locality
- Enhance the landscape character of Fairbairn Avenue as one of the Approach Routes to the Central National Area and as one of the main approaches to the Australian War Memorial
- Be carefully sited within a landscaped setting and screened from view from Fairbairn Avenue
- Allow for flexibility in design to ensure integration with the surrounding urban context
- Allow for buildings with an appropriate urban scale relationship to Fairbairn Avenue and adjacent suburban Campbell
- Ensure a high level of amenity is provided in site layout and urban design and that noise impacts are mitigated through appropriate building design, materials and construction
- Maintain and reinforce, where possible, the existing landscape character of the site to achieve a high-quality redevelopment within a natural setting.

### 4 Land Use

- 4.1 Land use on Block 14 Section 42 Campbell shall be consistent with the land use of the National Capital Plan, and the land use of the Territory Plan.

### 5 Building Height

- 5.1 Buildings and major structures shall not exceed 2 storeys in height, excluding basements located entirely below natural ground level.
- 5.2 The quality, scale, form and siting of buildings or structures shall contribute to and not detract from the surrounding character.

### 6 Building Setback and Built Form

- 6.1 All dwellings shall be setback from the boundary of Block 14 Section 42 Campbell by the following minimum distances from individual internal block boundaries:
- Six metres to the front (Rosenthal Street);
  - Two metres to the side; and
  - Six metres to the rear (Fairbairn Avenue frontage).

- 6.2 A minimum of 36 m<sup>2</sup> of private open space shall be provided per dwelling. This area of private open space is to be located to the rear of the dwelling.

## 7 Solar Access

- 7.1 All dwellings shall be sited to allow a minimum of three hours of direct sunlight onto the floor or internal wall of the main daytime living area of the dwelling between the hours of 9.00am and 3.00pm on 21 June (winter solstice).

## 8 Building Materials and Architectural Quality

- 8.1 Buildings and other permanent structures should be designed to a high architectural design standard.
- 8.2 All building materials used on site shall comprise high quality durable materials consistent with the character of Campbell. High contrasts in colours or material of external finishes and highly reflective (including white) materials on roofs and walls will not be permitted.
- 8.3 Development will demonstrate a high level of performance in terms of environmental design where applicable, including energy efficiency, climate management and water sensitive urban design. Building materials, construction and finishes are to be responsive to microclimate issues.
- 8.4 Building plant such as air conditioners must be contained within building form and totally screened from view.

## 9 Landscape Treatment and Fencing

- 9.1 A high standard of landscape design and verge treatment is required for the Rosenthal Street and Fairbairn Avenue frontages.
- 9.2 Mature vegetation should be retained to the maximum extent practicable and integrated into the landscape design. Where existing trees must be removed, this should be compensated for by planting elsewhere on the site. A tree report must accompany proposals for development and justification provided for the removal of medium or high-quality trees.
- 9.3 All proposed fencing to external site boundaries shall be constructed of high quality materials and integrated with the overall landscape design of the site.
- 9.4 Landscape treatments on site must be sympathetic to the surrounding area. Native species of advanced stock should dominate new plantings.
- 9.5 Additional landscape planting will be provided along the Fairbairn Avenue verges adjacent to the site to reinforce the landscape character of this Approach Route.

## 10 Access and Parking

- 10.1 A single site access point to the site will be from Rosenthal Street. No access is permitted from Fairbairn Avenue.
- 10.2 Access to individual dwellings shall be from an internal, private loop road.
- 10.3 Internal roads shall have a minimum road pavement width of 3.5 metres. Visitor parking and passing bays are permitted on internal roads.
- 10.4 Parking shall be provided in accordance with the Territory requirements for parking and vehicular access.
- 10.5 All private driveways and garages shall front internal roads. No access to individual blocks will be permitted from Rosenthal Street or Fairbairn Avenue.
- 10.6 A traffic and parking assessment shall accompany development proposals for the site.

## 11 Environmental Considerations

- 11.1 Any adverse environmental impacts from on-site developments or on adjacent land shall be identified and redressed to the extent practicable.
- 11.2 Environmental protection measures shall be adopted to minimize possible adverse impacts of any new development or redevelopment on the physical environment, in terms of air quality, noise, waste water run-off, storm water run-off, dust, steam and smoke.

## 12 Lighting

- 12.1 All outdoor lighting, including security and car park lighting shall be designed and sited to minimize light pollution. Outdoor lighting shall use full cut-off light fittings. No up-lighting will be permitted.
- 12.2 A full cut-off light fitting allows no light to be directed upward. No light dispersion or direct glare is allowed to shine at or above a 90-degree, horizontal plane from the base of the fixture. The lens/diffuser should not project beyond housing and minimal light should be emitted above 80° as per Figure 1.

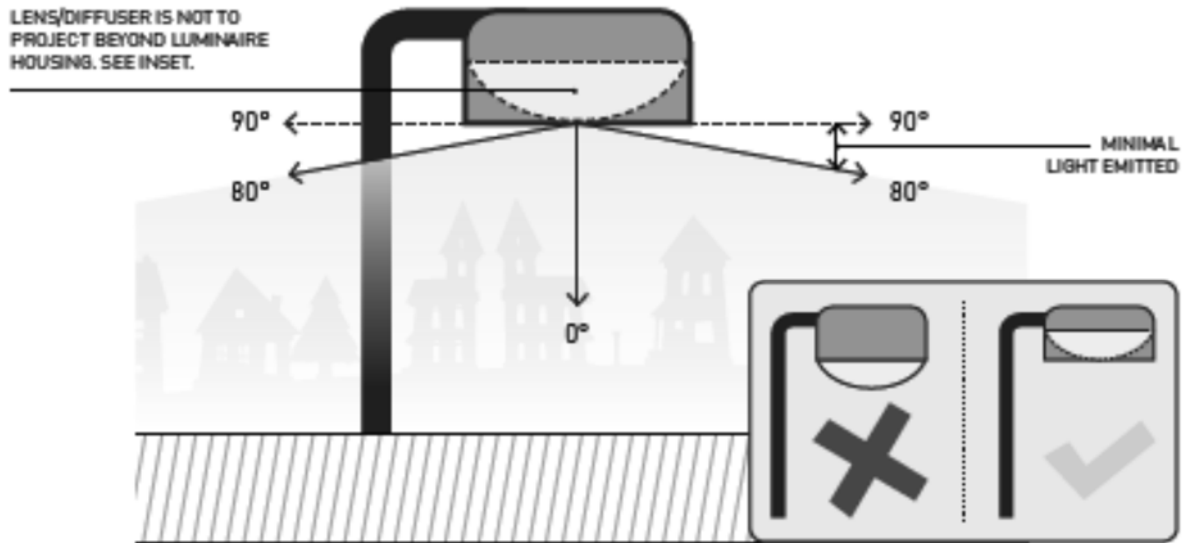


Figure 1 - Full cut off light fixture

## 13 DCP Drawing

13.1 The above provisions should be read in conjunction with the DCP Drawing 18/01-01 which forms part of the DCP. The DCP Drawing 18/01-01 illustrates a plan for development of the site, specifically showing the following:

- Building setbacks, building height and scale (up to a maximum of two storeys above natural ground level)
- A general landscape plan that encourages the retention of existing trees of high quality and integration of these into the new landscape (where possible)

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Block 18  
Section 42

Block 34  
Section 43

Block 6  
Section 43

Block 7  
Section 43

Block 33  
Section 43

Block 32  
Section 43

Block 31  
Section 43

Rosenthal Street

Rosenthal Street Setback: 6m

Block 14  
Section 42

Western side setback: 2m

Block 16  
Section 42

Block 13  
Section 42


Southern Setback: 6m

Eastern side setback: 2m


Block 17  
Section 42


Block 15  
Section 42



 Site (B14 S42 Campbell)

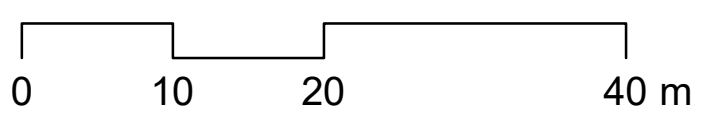
 Setback

 Building Zone

 Existing Trees Retained

 Indicative Offset Planting

 No Vehicle Access



Fairbairn Ave