



Australian Government

National Capital Authority

# DEVELOPMENT CONTROL PLAN

NATIONAL CAPITAL PLAN

DEVELOPMENT CONTROL PLAN

NO: 10|06

NOVEMBER 2010

**APPROVED**

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Chief Executive

Date 03/12/10

BLOCKS 4, 5, 6 AND 7  
SECTION 39 GRIFFITH  
CANBERRA AVENUE



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National Capital Authority  
December 2010

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# CONTENTS

BLOCKS 4, 5, 6 AND 7 SECTION 39 GRIFFITH, CANBERRA AVENUE .....	5
1. PREAMBLE .....	5
2. PLANNING AND URBAN DESIGN OBJECTIVES.....	5
3. LAND USE .....	6
4. BUILDING MASS, HEIGHT AND ARTICULATION .....	6
5. BUILDING SETBACK, ARTICULATION AND STREET ADDRESS.....	6
6. ROOFSCAPE DESIGN .....	6
7. BUILDING MATERIALS AND COLOURS .....	7
8. VEHICULAR ACCESS AND CAR PARKING .....	7
9. LANDSCAPE DESIGN .....	7
10. FENCING AND WALLS FORWARD OF THE BUILDING LINE .....	7
11. SIGNS .....	8
12. MECHANICAL PLANT AND EQUIPMENT, ELECTRICAL SUBSTATIONS, STORAGE AND SERVICE AREAS.....	8
13. SUSTAINABLE DEVELOPMENT .....	8
14. DCP DRAWINGS NO. 10/06 .....	8
DCP DRAWING NO. 10/06 .....	9

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# DEVELOPMENT CONTROL PLAN NO. 10/06

## BLOCKS 4, 5, 6 AND 7 SECTION 39 GRIFFITH, CANBERRA AVENUE

### 1. PREAMBLE

The subject site is adjacent to Canberra Avenue, which is a Main Avenue as defined in the National Capital Plan (the Plan). Special Requirements for Main Avenues under Section 2.3 of the Plan apply to the site and state;

*Development is to conform to Development Control Plans (agreed by the National Capital Authority) which seek to secure the integrity of the Main Avenues as approaches to the Parliamentary Zone and ensure that the setting, buildings and purposes of the development enhance that function.*

The Provisions of this Development Control Plan (DCP) apply to Block 1 Section 25 and Blocks 7 and 12 Section 26 Forrest. In the absence of a provision in the Plan to the contrary, all development should accord with the relevant provisions of the Territory Plan. Where an inconsistency arises between the Territory Plan and the National Capital Plan, the National Capital Plan prevails.

The subject area is Territory Land outside the Designated Area of the Plan and therefore the ACT Planning and Land Authority (ACTPLA) is responsible for assessing development applications relating to the subject area. In doing so, ACTPLA is required to ensure any proposal is not inconsistent with this DCP or the Plan.

The Canberra Avenue road reservation forms part of the Designated Areas of the Plan and therefore the National Capital Authority (NCA) is responsible for granting works approval within the Canberra Avenue road reservation.

### 2. PLANNING AND URBAN DESIGN OBJECTIVES

- » Enhance the character of Canberra Avenue as one of Griffin's Main Avenues and as one of the main approaches to Parliament House and the Parliamentary Zone.
- » Maintain and reinforce the character of Canberra Avenue as a setting for prestigious buildings.
- » Allow for buildings with appropriate urban scale relationship to Canberra Avenue and the final approach to the Parliamentary Zone.
- » Ensure that a high level of amenity is provided in site layout and urban design and that noise impacts are mitigated through appropriate building design, materials and construction.
- » Architectural design and construction should exhibit design excellence in urban design, architecture and landscape, and demonstrate sustainable features using a palette of high quality and durable materials.
- » Encourage modulation, tactility, silhouette and human scale in relation to built form and streetscape design.
- » Ensure all new buildings addressing Canberra Avenue have their main frontage to Canberra Avenue with a clearly articulated entry.

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### 3. LAND USE

- 3.1** Land use on Blocks 4, 5, 6 and 7 Section 39 Griffith shall be consistent with the land use of the National Capital Plan, and the land use of the Territory Plan.
- 3.2** The four blocks subject to this DCP are to be treated as a single development site.

### 4. BUILDING MASS, HEIGHT AND ARTICULATION

- 4.1** Buildings and other permanent structures should be designed to a high architectural design standard and must ensure an overall consistency in form, massing and detail.
- 4.2** DCP Drawing No. 10/06 illustrates maximum permitted building heights across the site.
- 4.3** Rooftop plant shall be an integral part of the overall design and consistent with the requirements of Section 6 'Roofscape Design' of this DCP.
- 4.4** Overlooking of adjoining properties must be mitigated through building and landscape design. The design of the upper building levels must incorporate measures to protect the amenity and privacy of adjacent development. This may include the use of blank walls, window sill heights greater than or equal to 1.7 metres from the floor, windows with permanently fixed panes of obscure glass or screened decks.

### 5. BUILDING SETBACK, ARTICULATION AND STREET ADDRESS

- 5.1** Buildings or significant structures are to be setback in accordance with the requirements set out in DCP Drawing No. 10/06.
- 5.2** Buildings are to be setback a minimum of ten (10) metres from Canberra Avenue. Encroachments of articulation elements may be permitted within the 'articulation zone' as defined in DCP Drawing No. 10/06. Articulation elements shall not occupy more than a 25 per cent footprint of the defined articulation zone. The articulation zone will commence no lower than RL579. Articulation elements may include verandahs, balconies, porches, awnings, shade devices, pergolas, bay windows, dwelling entries, and roof elements.
- 5.3** Buildings are to address street frontages as shown in DCP Drawing No. 10/06.
- 5.4** The primary address frontage for development on Blocks 4, 5, 6 and 7 Section 39 Griffith is to be oriented to Canberra Avenue to reinforce the prestige and visual interest of the Avenue. Building frontages to Canberra Avenue, Lefroy Street and Evans Crescent shall be articulated incorporating modulated form, tactility, silhouette and respond to human scale. Blank facades and prominent entries facing road frontages are not permitted.
- 5.5** Buildings shall have a maximum unarticulated length of 15 metres. Articulation may be provided by:
- a. changes in wall planes of a minimum one (1) metre in depth and no less than four (4) metres in length; and/or
  - b. inclusion of balconies; and/or
  - c. horizontally stepping facades by at least one (1) metre.

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## 6. ROOFSCAPE DESIGN

- 6.1** Careful consideration is to be given to the roof form and the roofscape of buildings as viewed from Canberra Avenue and Parliament House.
- 6.2** Roof top plant and equipment, if required, must be enclosed and the enclosure are to be carefully integrated with the roof form and design of the building. All such plant and equipment shall be totally concealed from view from Canberra Avenue and Parliament House.

## 7. BUILDING MATERIALS AND COLOURS

- 7.1** The facades and roof of buildings are to be constructed of high quality, durable and low maintenance materials. Highly reflective external materials are not permitted.
- 7.2** Building materials, construction and finishes are to be responsive to microclimate issues. Use of sunscreen devices as articulation elements may be employed to achieve climate responsive facades.

## 8. VEHICULAR ACCESS AND CAR PARKING

- 8.1** DCP Drawing No. 10/06 shows the indicative location of three access points off Canberra Avenue. The actual location will be as determined or agreed by the relevant approval authorities. The total number of access points from Canberra Avenue must not exceed three [3].
- 8.2** A traffic and parking assessment should accompany development proposals for the site, and this will be determined in consultation with the approving authority.
- 8.3** On-site parking is to be in accordance with the ACT Parking and Vehicular Access General Code.
- 8.4** The visual impact of surface car parking must be minimised through adequate screening and landscape treatment that appropriately considers view lines and safety.
- 8.5** Car parking that is underground within the setback areas on the Canberra Avenue side will only be permitted where it cannot be seen from Canberra Avenue and where it does not affect the planting of trees and shrubs consistent with the landscape provisions set out under Section 10 'Landscape Design' of the DCP.

## 9. LANDSCAPE DESIGN

- 9.1** A high standard of landscape design and verge treatment is required for all road frontages. The existing avenue planting pattern along Canberra Avenue shall be maintained and reinforced.
- 9.2** A Landscape Plan must accompany any development proposal, which achieves the requirements of Section 9 'Landscape Design' of this DCP. Mature trees should be retained to the maximum extent practicable and integrated into the landscape design. Where existing trees must be removed, they must be compensated by planting elsewhere on the site.
- 9.3** A tree assessment for all verge trees must accompany any development proposal. Trees recommended for removal from the tree assessment shall be replaced with a similar species consistent with the existing avenue plantings along Canberra Avenue. Where there are gaps in the existing avenue planting, they shall be replaced in accordance with the 'indicative plantings' in DCP Drawing No. 10/06.
- 9.4** Reference shall be made to DCP Drawing No. 10/06.

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## 10. FENCING AND WALLS FORWARD OF THE BUILDING LINE

**10.1** Blank walls to street frontages are not permitted. Perimeter fencing for security purposes is permitted provided it:

- » allows filtered views into the site from road frontages;
- » is constructed of high quality materials; and
- » is highly integrated with landscape design.

## 11. SIGNS

**11.1** All signage to be integrated with building design and landscape and is to be of a high design quality.

**11.2** All building or free-standing signs proposed on site are to be consistent with the relevant signs policies of the Territory Plan and the National Capital Plan. Where an inconsistency arises between the policies of the two plans, the National Capital Plan policies shall prevail.

## 12. MECHANICAL PLANT AND EQUIPMENT, ELECTRICAL SUBSTATIONS, STORAGE AND SERVICE AREAS

**12.1** All mechanical plant and equipment (including air conditioning units) is to be contained within buildings or located within service enclosures. Such elements, in addition to electrical substation, storage and service areas (including storage sheds), are to be carefully sited and must not be visible from Canberra Avenue, Lefroy Street, Evans Crescent or Parliament House.

## 13. SUSTAINABLE DEVELOPMENT

**13.1** Development proposals will demonstrate a high level of performance in terms of environmental design where applicable including energy efficiency, climate management and water sensitive urban design.

## 14. DCP DRAWINGS NO. 10/06

**14.1** The above provisions should be read in conjunction with DCP Drawing No. 10/06 which forms part of this DCP.

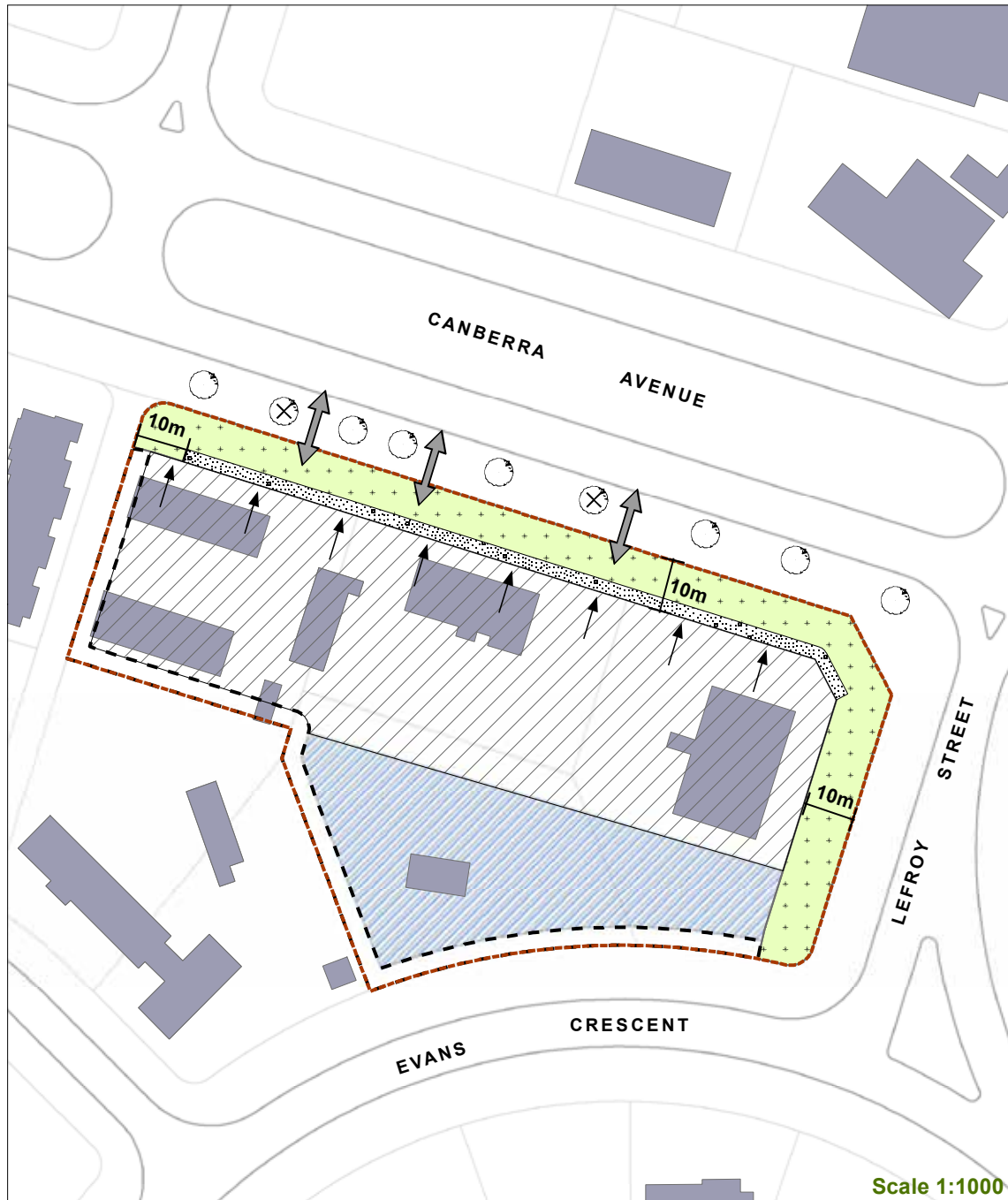
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**LEGEND**

- Area Subject to DCP
- Landscape Setback (10m)
- Permissible Building Area - Maximum building height RL591 (Subject to any provisions in this DCP)

- Existing Trees
- Indicative Planting
- Articulation Zone (2.5m)
- Permissible Building Area (Maximum height RL585) (Subject to provisions prescribed in this DCP)

- Existing Vehicle Access
- Existing Building
- Primary Building Facade to Address Street
- Setbacks in Accordance with Territory Plan

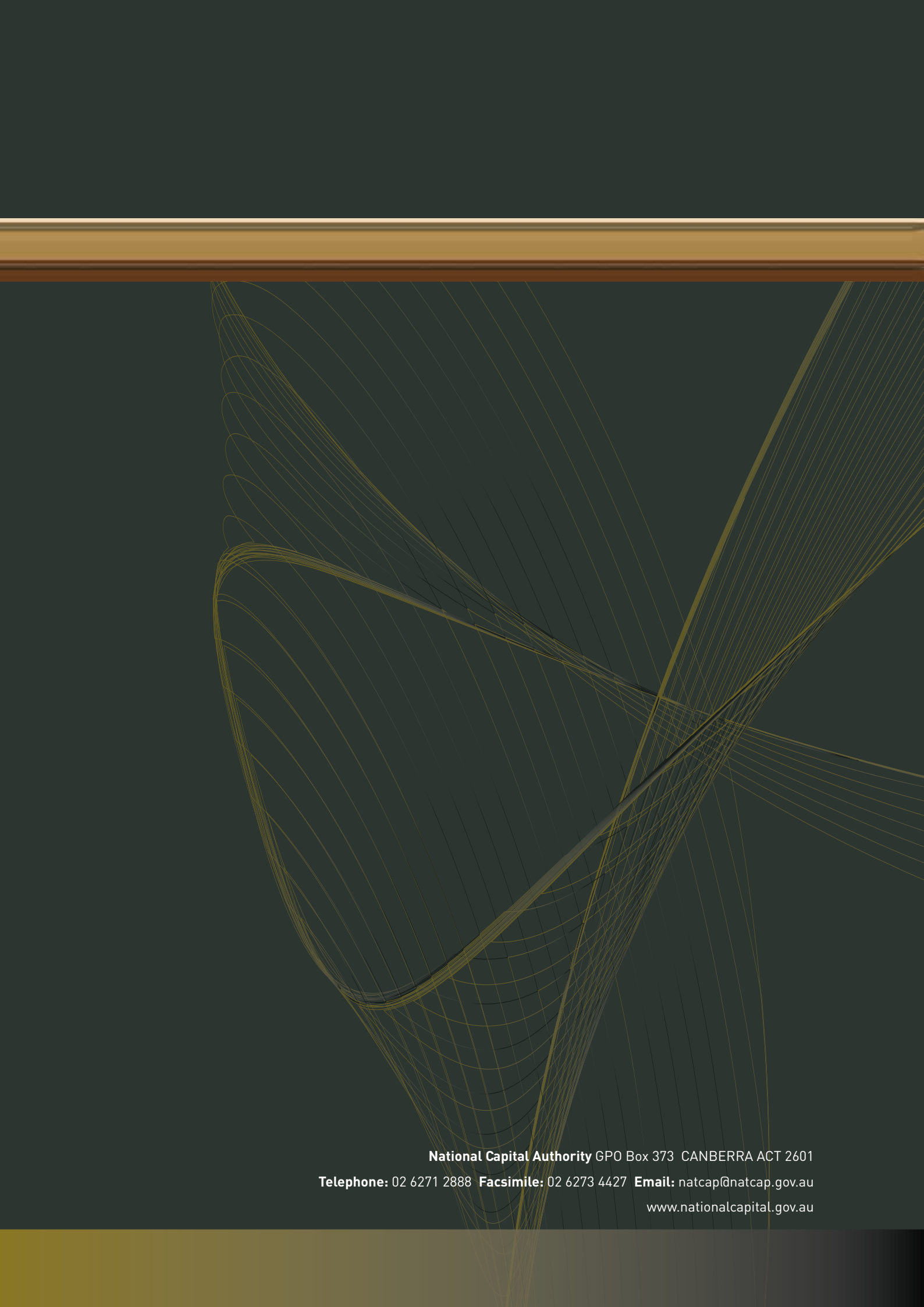
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