

APPROVED:



Date 31/07/13

Chief Planner

National Capital Plan

DEVELOPMENT CONTROL PLAN

13101

**Blocks 4, 6, 10, 14 and 15 Section 15 Griffith
MANUKA OVAL**

JULY 2013



Australian Government
National Capital Authority

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July 2013

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CONTENTS

1.	Preamble	4
2.	Planning and urban design objectives	4
3.	Building mass and height.....	5
4.	Roofscape design	5
5.	Materials and colours.....	5
6.	Setback	6
7.	Lighting.....	6
8.	Landscape.....	7
9.	Signs	7
10.	Mechanical plant and equipment.....	8
11.	Temporary event overlay infrastructure	8
12.	DCP drawing	9

1. PREAMBLE

The subject site is adjacent to Canberra Avenue, which is a Main Avenue as defined in the National Capital Plan (the Plan). Special Requirements for Main Avenues, under Section 2.3 of the Plan, apply to the site and state:

Development, except in relation to Northbourne Avenue, is to conform to Development Control Plans (agreed by the Authority) which seek to secure the integrity of the Main Avenues as approaches to the Parliamentary Zone and ensure that the setting, buildings and purposes of development enhance that function.

The provisions of this Development Control Plan [DCP] apply to Blocks 4, 6, 10, 14 and 15 Section 15 Griffith. In the absence of a provision to the contrary, all development should be in accordance with the relevant provisions of the Territory Plan. Where an inconsistency arises between the Territory Plan and the National Capital Plan, the National Capital Plan prevails.

The subject area is Territory land outside the Designated Areas of the Plan. The ACT Government is responsible for assessing development applications relating to the subject area. In doing so the ACT Government is required to ensure any proposal is not inconsistent with the DCP or the Plan.

The Canberra Avenue road reservation forms part of the Designated Areas of the Plan and therefore the National Capital Authority (NCA) is responsible for granting works approval within the Canberra Avenue road reservation.

This DCP addresses upgrade works at Manuka Oval. These are the provision of supplementary (pedestrian) lighting, erection of signage, the erection of hardstand areas and associated temporary event overlay infrastructure, the management and replacement of the existing landscape and proposed spectator stand structures. If further redevelopment works are proposed, the DCP may require amendment.

2. PLANNING AND URBAN DESIGN OBJECTIVES

- > Enhance the character of Canberra Avenue as one of Walter Burley Griffin's Main Avenues and as one of the main approaches to Parliament House and the Parliamentary Zone.
- > Maintain and reinforce the character of Canberra Avenue as a setting for prestigious buildings.
- > Allow for buildings with an appropriate urban scale relationship to that section of Canberra Avenue known as Manuka Circle and the final approach to the Parliamentary Zone.
- > Ensure that a high level of amenity is provided in site layout and urban design and that noise impacts are mitigated through appropriate building design, materials and construction.
- > Architectural design and construction should exhibit excellence in urban design, architecture and landscape, in a manner appropriate to the physical, social and historic context of the site, and demonstrate sustainable features using a palette of high quality and durable materials.
- > Encourage modulation, tactility, silhouette and human scale in relation to built form and streetscape design.

APPROVED:  Date 31/07/13

3. BUILDING MASS AND HEIGHT

- 3.1. Buildings and other permanent structures should be designed to a high architectural design standard and must ensure an overall consistency in form, massing and detail.
- 3.2. The height of buildings and structures, including platforms for temporary media overlay in the area shown on the DCP Drawing ("Proposed Stand Structures"), shall be a maximum of RL581.
- 3.3. The height of broadcast light poles, including the lighting frame and any associated equipment erected for broadcast quality lighting, must not exceed RL617.
- 3.4. Rooftop plant and infrastructure shall be an integral part of the overall design and consistent with the requirements of Section 4 'Roofscape Design' of this DCP.
- 3.5. Any permanent development or long term temporary structures shall maintain the axial relationship between Manuka Oval, Telopea Park and the intermediate built form and road layout.

4. ROOFSCAPE DESIGN

- 4.1. Careful consideration is to be given to the roof form and the roofscape of structures and buildings as viewed from Canberra Avenue.
- 4.2. Roof top plant and equipment, if required, must be enclosed. Enclosures are to be carefully integrated with the roof form and design of structures and buildings. All plant and equipment is to be totally concealed from view from Canberra Avenue.

5. MATERIALS AND COLOURS

- 5.1. The facades and roof of structures and buildings are to be constructed of high quality, durable and low maintenance materials. Highly reflective external materials are not permitted.
- 5.2. The colour of external finishes of buildings and structures must ensure that they are appropriate to and not discordant with, the general development and amenity of the locality.
- 5.3. Building materials, construction and finishes are to be responsive to microclimate issues. Use of sunscreen devices as articulation elements may be employed to achieve climate responsive facades.

APPROVED:  Date 31/07/13

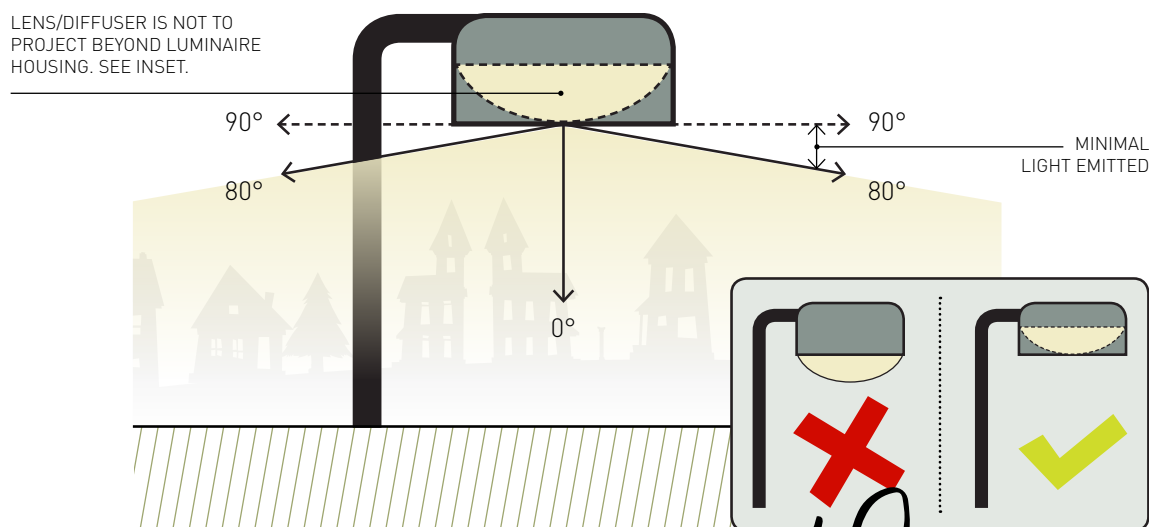
6. SETBACK

- 6.1. Buildings and significant structures are to be set back a minimum of ten metres from Canberra Avenue as shown on DCP Drawing 1.
- 6.2. The setback area indicated in the DCP drawing must be predominantly landscaped. Surface car parking is not permitted in the landscape zone.
- 6.3. Structures such as pedestrian lighting and public address systems may be located within the landscape area provided that they are in accordance with Section 8 'Landscape' of this DCP.
- 6.4. Broadcast light poles and any other structures are to be setback a minimum of ten metres from Canberra Avenue as shown on the DCP Drawing.
- 6.5. Setbacks to all other block boundaries are to be in accordance with the Territory Plan.

7. LIGHTING

- 7.1. Outdoor lighting including security and car park lighting shall be designed and sited to minimise light pollution and shall be of a high quality design in detail and execution. A consistent lighting design is to be adopted for the subject area.
- 7.2. Broadcast lighting towers and frames shall be designed and sited to minimise light pollution, and shall be of a high quality design in detail and execution. The lighting is to be designed to achieve broadcast quality illumination.
- 7.3. All lighting shall accord with Australian Standard 4842-1997 'control of the obtrusive effects of outdoor lighting' and the Civil Aviation Regulations Manual of Operation Standards 139, Section 9.21 'Lighting in the vicinity of aerodromes'.
- 7.4. All street and footpath lighting shall use full cut-off light fittings. Any up-lighting of buildings and structures should be designed to keep night time overspill and glare to a minimum.
- 7.5. A full cut-off light fitting allows no light to be directed upward. No light dispersion or direct glare is allowed to shine at or above a 90 degree horizontal plane from the base of the fixture. The lens/diffuser should not project beyond housing and minimal light should be emitted above 80 degree as per Figure 1.

FIGURE 1 - FULL CUT OFF LIGHT FIXTURE



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8. LANDSCAPE

- 8.1. A high standard of landscape design and verge treatment is required for the area along the Canberra Avenue frontage.
- 8.2. The site is to be landscaped in accordance with the significance of Canberra Avenue as an Approach Route to the National Capital.
- 8.3. A Tree Management and Replacement Master Plan for the subject site is to be prepared in consultation with the NCA and approved by the relevant ACT Government Agencies.
- 8.4. The core objectives of the Tree Management and Replacement Master Plan are:
 - > Conserve and retain the character of the landscape setting for the Oval, Canberra Avenue and its surrounds.
 - > Ensure that the Canberra Avenue frontage is landscaped with consistent treatments and presents as a unified landscape.
 - > Retain mature trees to the maximum extent practicable whilst allowing for plantings to provide for progressive replacement of these older trees.
- 8.5. Where development involves tree removal or work is proposed in the vicinity of trees, a tree assessment must accompany the development application. Recommendations in the tree assessment for tree removal and replacement are to be consistent with, or inform changes to the Tree Management and Replacement Master Plan.

9. SIGNS

- 9.1. All signage located on the site is to be in accordance with a Signage Master Plan approved by the relevant ACT Government agency in consultation with the NCA. The Signage Master Plan must be in accordance with the requirements of the Territory Plan and the National Capital Plan.
- 9.2. All signage is to be of a high design quality, and be consistent in design and detail. Careful consideration is to be given to the integration of signs with landscape and building design to ensure they do not detract from the Canberra Avenue frontage.
- 9.3. Roof signs and large freestanding signs visible from Canberra Avenue not specifically noted in the Signage Master Plan will not be permitted. Permanent signage will not be permitted in the Canberra Avenue road reserve.
- 9.4. Entrance signs and features should be carefully sited to ensure that they do not have any adverse visual impact on traffic safety.

APPROVED:  Date 31/07/13

10. MECHANICAL PLANT AND EQUIPMENT

- 10.1. All mechanical plant and equipment shall be contained within buildings or located within service enclosures appropriately screened from Canberra Avenue and the other street frontages. External air conditioning units and plant shall not be visible from Canberra Avenue or any of the other streets.
- 10.2. Careful consideration must be given to the siting of any service boards and connections, storage and service areas (including storage sheds), electrical substations and any other above ground infrastructure. Any such structures or areas must be carefully sited and screened from view from all public roads.

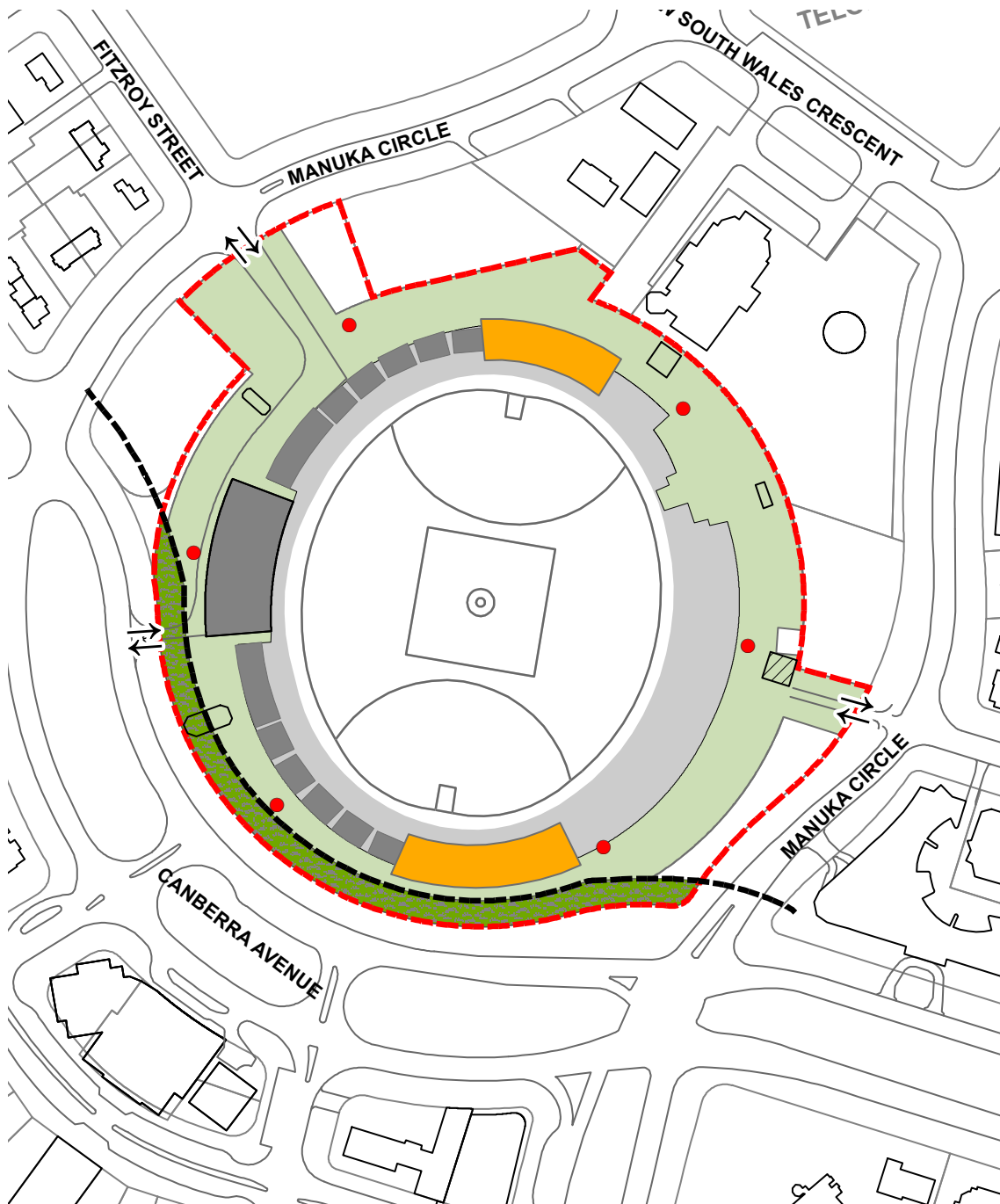
11. TEMPORARY EVENT OVERLAY INFRASTRUCTURE

- 11.1. Hardstand service areas for the placement of temporary event overlay infrastructure is to be generally in the concourse area, as shown on the DCP drawing. Temporary hardstand service areas are permitted in the landscape zone providing the area remains predominantly landscaped.
- 11.2. Careful consideration shall be given to the visual impact of hardstand service areas. Construction of hardstand areas is to be accompanied with suitable landscaping and screening from all public roads. All hardstand areas are to be integrated with the landscape.
- 11.3. Hardstand service areas should be constructed of appropriate, high quality, permeable materials to the maximum extent practicable.

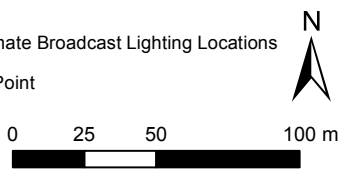
12. DCP DRAWING

The above provisions should be read in conjunction with the DCP Drawing which forms part of this DCP.

FIGURE 2 - DCP DRAWING



- Area Subject to DCP
- 10 m Setback
- Existing Stand structures
- Proposed Stand Structures
- Predominantly Landscaped Zone
- Concourse
- Indicative Substation Locations
- Approximate Broadcast Lighting Locations
- ↔ Access Point



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The National Capital Authority was established under the
Australian Capital Territory (Planning and Land Management) Act 1988

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