



Australian Government
National Capital Authority

National Capital Plan

Development Control Plan No:171/09/0003

Block 5 Section 18 Griffith

June 2009



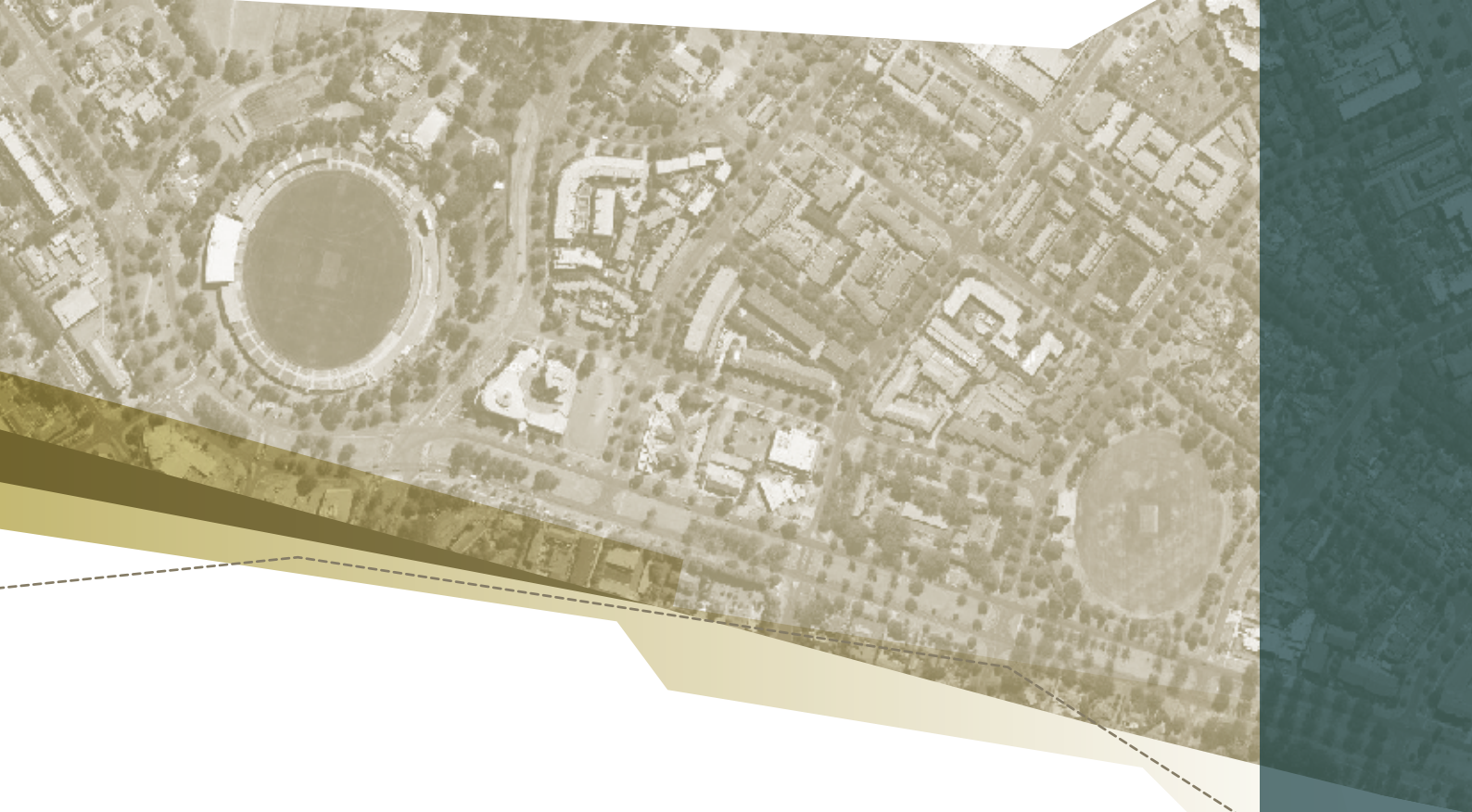


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June 2009

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Development Control Plan

No: 171/09/0003

Block 5 Section 18 Griffith

BLOCK 5 SECTION 18 GRIFFITH

1. PREAMBLE

- 1.1 The subject site is adjacent to Canberra Avenue, which is a Main Avenue as defined in the National Capital Plan (the Plan). Special Requirements for Main Avenues under Section 2.3 of the Plan apply to the site that state;

“Development is to conform to Development Control Plans (agreed by the National Capital Authority) which see to secure the integrity of the Main Avenues as approaches to the Parliamentary Zone and ensure that the setting, buildings and purposes of the development enhance that function”.

- 1.2 The provisions of this Development Control Plan (DCP) apply to Block 5 Section 18 Griffith. In the absence of a provision in the Plan to the contrary, all developments should be in accordance with the relevant provisions of the Territory Plan 2008.

2. PLANNING AND URBAN DESIGN OBJECTIVES

- 2.1 Enhance the character of Canberra Avenue as one of Walter Burley Griffin's Main Avenues and as one of the main approaches to Parliament House and the Parliamentary Zone.
- 2.2 Maintain and reinforce the character of Canberra Avenue as a setting for prestigious buildings.
- 2.3 Allow for buildings with an appropriate urban scale relationship to Canberra Avenue.
- 2.4 Ensure a high level of amenity is provided in urban design and the site layout, and that noise impacts are mitigated through appropriate building design, materials and construction.
- 2.5 Architectural design and construction should exhibit design excellence in urban and landscape design, and demonstrate sustainable features using a palette of high quality and durable materials.
- 2.6 Encourage modulation, articulation, tactility, silhouette and human scale in relation to built form and streetscape design.
- 2.7 Ensure all new buildings have their main frontage to Canberra Avenue with a clearly articulated entry.

3. LAND USE

- 3.1 Land use on Block 5 Section 18 Griffith shall be consistent with the CZ2 - Business Zone of the Territory Plan.

4. BUILDING HEIGHT

- 4.1 Building height for development for this site shall be generally a maximum of RL591. Rooftop plant may extend beyond RL591 provided it is an integral part of the overall design and consistent with the requirements of Section 7 'Roofscape Design' of this DCP.

5. BUILDING SETBACK

- 5.1** Buildings or significant structures should be setback in accordance with the requirements set out in DCP Drawing No: 171/09/0003.
- 5.2** A 10 metre building setback to Canberra Avenue shall be provided. Minor encroachments of building articulation elements such as porte-cocheres may be permitted within the setback areas toward Canberra Avenue provided the development meets the objectives set out under Section 2 of this DCP.
- 5.3** A 6 metre building setback to Oxley Street shall be provided. Minor encroachments of building articulation elements may be permitted provided the overall setback is consistent with the setback of other buildings fronting Oxley Street.

6. WALLS FORWARD OF THE BUILDING LINE

- 6.1** No boundary or courtyard walls are permitted forward of the building line to Canberra Avenue.

7. ROOFSCAPE DESIGN

- 7.1** Careful consideration should be given to the roof form and roofscape of buildings as viewed from Canberra Avenue.
- 7.2** Roof top plants and equipment, if required, must be enclosed. The enclosure shall be carefully integrated with the roof form and design of the building. All such plant and equipment shall be concealed from view from Canberra Avenue.

8. BUILDING MATERIALS & COLOURS

- 8.1** The facades and roof of buildings shall be constructed of high quality and durable materials. Highly reflective external materials are not permitted.
- 8.2** Building materials, construction and finishes should be responsive to microclimate issues. Use of sunscreen devices as articulation elements should be employed to achieve climate responsive facades.

9. LANDSCAPE DESIGN

- 9.1** A high standard of landscape design is required for the site, particularly along the Canberra Avenue frontage. The existing landscape character of Canberra Avenue should be maintained and enhanced. All new development must include a landscape plan.
- 9.2** Site cover of new buildings should be limited to 75% of the total site area to enable the setting aside of appropriately scaled landscape space and the planting of deep rooted trees. Refer to Development Control Plan Drawing No: 171/09/0003.

10. VEHICULAR ACCESS & CAR PARKING

- 10.1** A traffic assessment is to be submitted in relation to development proposals for the site.
- 10.2** In addition to car parking required under the Territory Plan (ACT Parking and Vehicular Access General Code), sixty (60) permanently available public car parking spaces shall be provided.
- 10.3** Large off-street permanent surface carparks are to be avoided. Car parking is to be accommodated in basements and/or in above ground structures concealed from public view. Blank facades to public spaces or streets are not permitted.
- 10.4** The ground floor of structured carparks must have active frontages.



11. SIGNS

- 11.1** Careful consideration should be given to the integration of signs with building design and landscaping. All building or free-standing signs proposed on site should be consistent with the relevant signs policies of the Territory Plan and the National Capital Plan. Should an inconsistency arise between the policies of the two plans, the National Capital Plan policies shall prevail.

12. MECHANICAL PLANT & EQUIPMENT

- 12.1** All mechanical plant and equipment should be contained within buildings or located within service enclosures appropriately screened from Canberra Avenue. External air conditioning units and plant shall not be visible from Canberra Avenue or Giles Street.

13. ELECTRICAL SUBSTATION, STORAGE & SERVICE AREAS

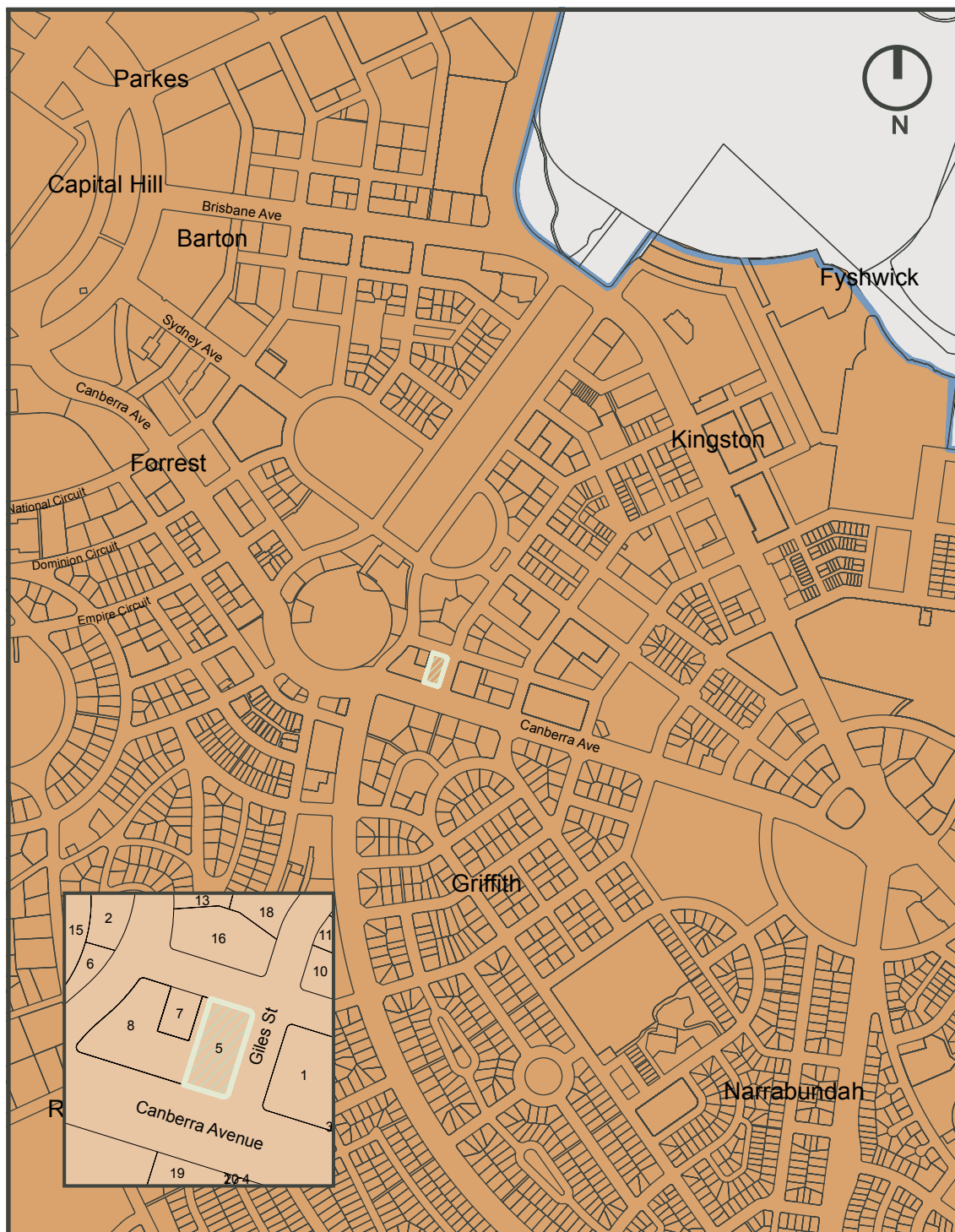
- 13.1** Careful consideration should be given to the siting of electrical substation, storage and service areas (including storage sheds) if required as viewed from Canberra Avenue and Giles Street. Such structures or areas must be carefully sited and totally screened from the view from Canberra Avenue and Giles Street.

14. DCP DRAWINGS




- 14.1** The above provisions should be read in conjunction with the DCP Drawing No: 171/09/0003 which form part of this DCP.






LOCATION MAPS



LEGEND

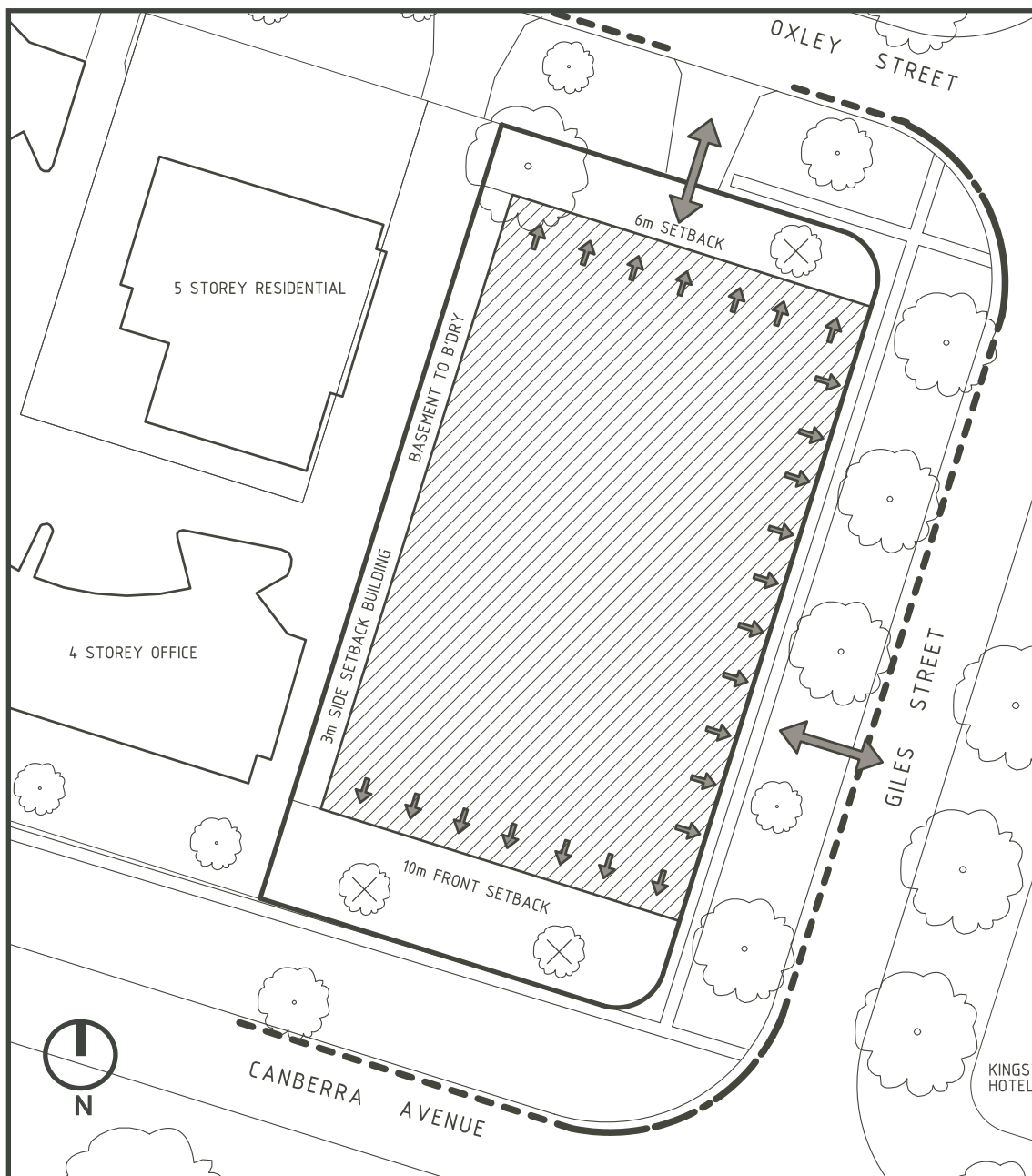
-  Cadastral boundary
-  National Capital Plan boundary
-  Site subject to DCP 171/09/0003

POLICY

-  Urban Areas
-  Broadacre Areas
-  Hills, Ridges & Buffers

DCP DRAWING NO:171/09/0003

Block 5 Section 18 Griffith



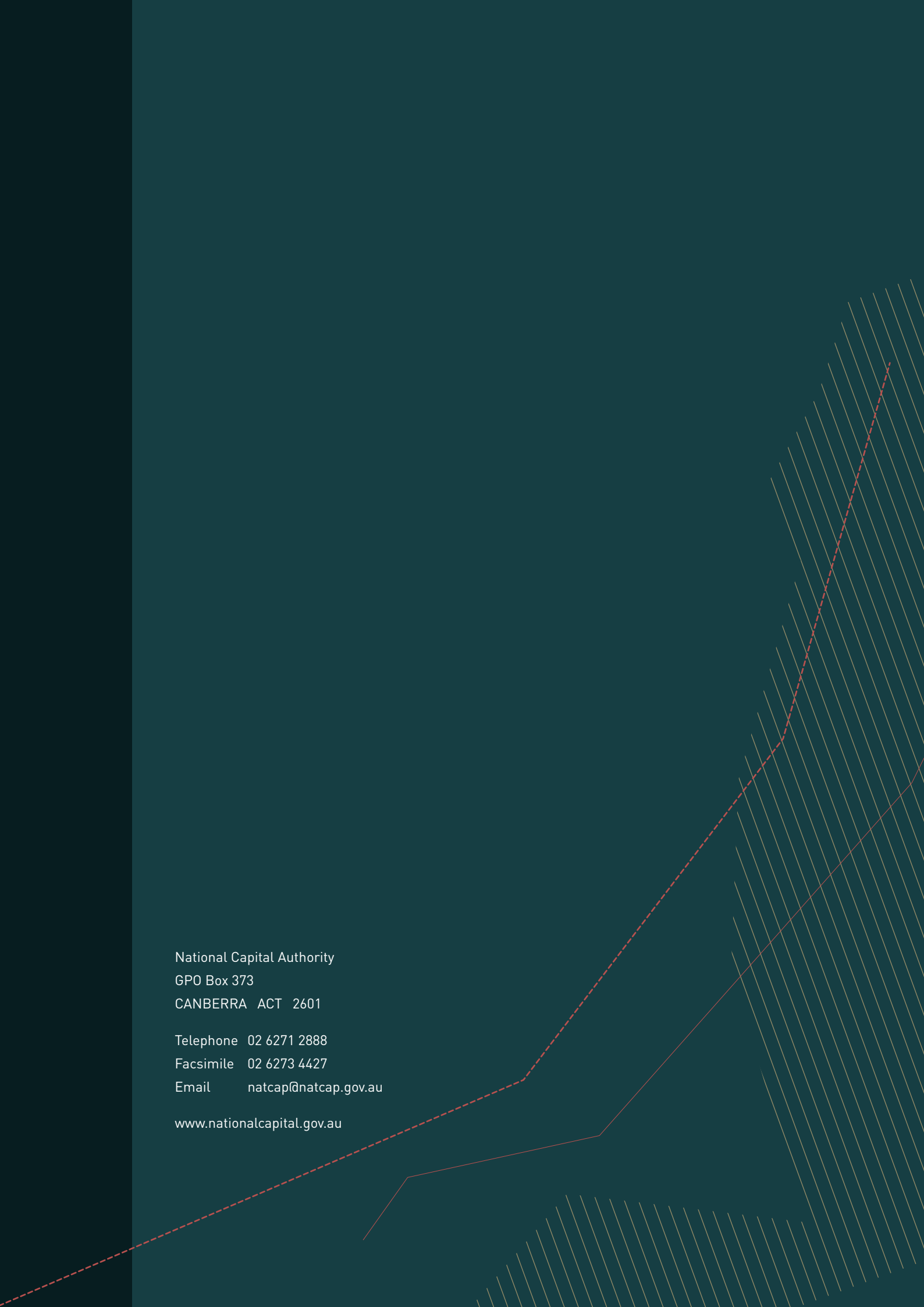
LEGEND

- Lease Boundary
- No Vehicular Access
- Primary Building Facade to Address Street and Carpark
- Access Point
- Building Area
- Existing Planting (Notional Location Only)
- Indicative Planting

BLOCK 5 SECTION 18 GRIFFITH

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DEVELOPMENT CONTROL PLAN N:171/09/0003



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