

**DEVELOPMENT CONTROL PLAN  
BLOCKS 2 – 6 SECTION 26 - CANBERRA AVENUE - FORREST**

**DCP NO: 171/01/0001**

**1. PREAMBLE**

- 1.1. The site is adjacent to Canberra Avenue, which is defined as a Main Avenue in the National Capital Plan. Special Requirements for Main Avenues under section 2.3 of the Plan apply to the site which state:

*"Development is to conform to Development Control Plans (agreed by the Authority) which seek to secure the integrity of the Main Avenues as approaches to the Parliamentary Zone and ensure that the setting, buildings and purposes of development enhance that function."*

- 1.2. The provisions of this Development Control Plan (DCP) apply to the site shown in DCP No: 171/01/0001. In the absence of a provision in this plan to the contrary, all development should accord with the relevant provisions of the Territory Plan.
- 1.3. Variations to conditions prescribed in this DCP may be approved by the Authority on the basis of architectural merit. Approved variations will be considered unique and will not set any precedent for the future.
- 1.4. ACT Department of Urban Services - Planning and Land Management Group (PALM) will be the approval authority for any proposed development on the site. The National Capital Authority is available to discuss the intent of this DCP with the proponent. The proponent is encouraged to prepare a model – 3 dimensional or virtual – for sketch plan discussions. Site analysis material should also be submitted showing context such as adjacent development, views, sun angles and verge treatments.
- 1.5. A separate Works Approval from the National Capital Authority is required for any works contained within the road reservation of Canberra Avenue, including drive crossings and verge landscaping.
- 1.6. Block amalgamations and amendments to existing leases, if required, are to comply with ACT Government requirements.



## 2. GENERAL DESIGN OBJECTIVES

- 2.1. The design objective is to ensure that development on this site is of a quality appropriate to its location on a significant approach to the Parliamentary Zone and fronting a Main Avenue (Canberra Avenue) as defined in the National Capital Plan.
- 2.2. A key planning objective for the site is to permit a level of development that is commensurate with the location in walking distance of a significant commercial centre, employment opportunities, community facilities and public transport; yet also remains consistent with protection of existing residential amenity.
- 2.3. Building design, landscape and signage are to be integrated to ensure that development on the site promotes activity and enhances the quality of the streetscape in Canberra Avenue and in adjacent cross streets.
- 2.4. Built form is to be 3 to 4 storeys paralleling Canberra Avenue. Primary address frontage is to be oriented to Canberra Avenue to reinforce the prestige and visual interest of the Avenue. Blank facades and prominent service entries facing the street will not be permitted.
- 2.5. The development and associated verge treatments should contribute positively to Canberra Avenue as a high quality landscape corridor.
- 2.6. Urban design (including architectural and streetscape quality) will be the paramount assessment criteria for the development.

## 3. DEVELOPMENT CONTROLS

### Block Amalgamations and Integrated Development Requirements

- 3.1 A key urban design objective is to obtain development that is integrated and of a scale that establishes a unified and coherent street corridor. Block amalgamation is encouraged to optimise site-planning efficiencies such as dwelling yield, vehicle accommodation and landscape retention.
- 3.2 Any redevelopment within Blocks 2-6, whether under separate or amalgamated ownership, shall generally be consistent with a comprehensive design for other blocks in this group. Development must ensure a reasonable degree of consistency in built form, levels and finishes between blocks.
- 3.3 Building to zero-setback side boundaries is mandatory for Blocks 2-6, including adjoining blocks not under common ownership within this group.
- 3.4 To achieve an integrated plan, lessees must obtain the written consent of adjoining lessees of Blocks 2-6, and lodge concurrent development applications for each block to ACT Government - PALM. Easements of common access, and other building and



leasing issues are to comply with requirements of ACT Government and relevant authorities.

### Architecture and Construction

- 3.5 Architectural design and construction are to be of a high standard and must ensure an overall consistency in form and design details.
- 3.6 Buildings should be sited parallel to the streets with address frontage to Canberra Avenue and Empire Circuit. A positive architectural treatment should be given to the corner of Empire Circuit and Canberra Avenue commensurate with its visually prominent location.
- 3.7 Dwelling units should generally be oriented to the street with living areas to the front and quiet areas (bedrooms) to the rear.
- 3.8 The provision of legible entries, accessible from the street, is encouraged as a means of enriching the streetscape. All dwellings should have a legible and accessible public access from the street. The creation of individualised entries to ground floor dwellings, separated from common entry lobbies serving upper floor dwellings, is encouraged.
- 3.9 Due consideration should be given to the roof form and roofscape of buildings on the site. Roof top plant and equipment, if required, should be carefully integrated with the roof form and design of the building and screened from public view from the street.

### Building Height and Setbacks

- 3.10 Buildings should present a minimum 3-storey elevation to all street frontages.
- 3.11 A maximum building height of 4 storeys is permitted within the **Primary Building Envelope** only, as defined in *DCP No: 171/01/0001*. The Primary Building Envelope is to be predominantly built to the 10 metre setback line such that the visual integrity of the building line is maintained.
- 3.12 A zone for **Articulation Elements** is defined in the *DCP No: 171/01/0001* allowing encroachments of secondary building elements to provide visual interest to the streetscape. Permissible Articulation Elements include balconies, bay windows, awnings, pergolas and entry porches. Enclosed habitable rooms are permitted within the Articulation Elements zone where such rooms are limited to 3 storeys. Articulation Elements should not occupy more than a 50% footprint in the defined zone. Unenclosed balconies may be provided up to the 4 storey level, but roof elements at the 4 storey level including awnings, pergolas and parapet lines should generally be contained within the Primary Building Envelope.
- 3.13 The **Side Boundary Setback** to Block 7/Section 26 will be as defined in the *DCP No: 171/01/0001*.



- 3.14 Development within the 45-degree height control plane of the rear building envelope should generally be modulated to reduce the visual bulk of the building visible to dwellings which front Franklin Street. The creation of side-facing balconies and windows at the rear building envelope is encouraged, however views should be directed away from rear neighbours.
- 3.15 Windows and balconies of upper levels within 9m of adjoining boundaries should be designed to prevent overlooking. Consideration should be given to providing 1.7m sill heights, or permanent obscure glazing, or solid permanent screens that direct vision away from side boundaries.

### **Building Materials and Colours**

- 3.16 External building materials and finishes should be of a good quality, durable and require minimal maintenance. Extensive continuous glazing and highly reflective external materials should be avoided.
- 3.17 Colours of external finishes should contribute to (and not detract from) the general development and amenity of the locality. Building facades should be predominantly light in tone. Highlights of darker or stronger colours compatible with the predominant colour may be permitted.

### **Landscape Design**

- 3.18 The developer is to submit a survey of existing trees and a tree retention plan prepared by a qualified horticulturalist or landscape architect. Trees over 200mm in trunk diameter (1m above ground) shall not be removed without approval by relevant ACT Government agencies. Proposals to remove trees shall be in accordance with ACT Tree Protection policies.
- 3.19 A detailed Landscape Design Plan is to be submitted as part of the Development proposal.
- 3.20 Landscape works in the public verge should be designed using the species and the rhythm of existing street trees and grassed surfaces. Public pathways are to be protected. If reinstatement works or additions to the existing path system are required, they should be in materials and finishes consistent with the existing. New driveways are to match existing driveway materials and kerb crossings.
- 3.21 All street trees on Canberra Avenue must be retained. Existing significant trees within the site shall also be retained where practicable and integrated into the landscape design. Appropriate measures should be implemented during construction to protect trees to be retained.



- 3.22 The **Front Landscape Zone**, as defined in *DCP No: 171/01/0001*, is to possess high quality landscape design and finishes that reinforce the landscape corridor of Canberra Avenue. Softworks, paths, lighting, fencing and terracing, should enhance the quality of the development's address frontage. Letter box pillars, utility meters, and minor service structures located in the Front Landscape Zone should be harmoniously integrated with the landscape design or fully concealed from public view.
- 3.23 A **Rear Landscape Zone** is defined in *DCP No: 171/01/0001* to provide a landscaped buffer space to rear neighbours, and to promote retention of existing trees and screen plantings along the fence line.
- 3.24 Basement parking areas should generally not encroach into landscape areas beyond the building footprint to provide for generous landscape areas, tree retention and quality growing conditions.
- 3.25 The use of hedges is encouraged in lieu of (or combined with) fences and walls when forward of the building line. Any front retaining walls and fencing should be integrated with soft landscape design treatments.
- 3.26 Notwithstanding 3.25; garden walls and fences forward of the building line are permitted but shall be generally transparent in character. Such walls shall be comprised of high quality, solid-metal-rod, transparent fencing with masonry base walls and piers, in colours and finishes consistent with the principle building. Masonry piers should be kept to a minimum, and may be used to articulate entries and boundary junctions. Metal posts should be used as intermediate piers to promote transparency. The maximum average height of fencing should be 1600mm.
- 3.27 Artificial vegetation, on or around the development, shall not be visible from the street.

### **Private Open Space**

- 3.28 The location of useable private open space on the frontage of buildings is encouraged, to promote activity and maintenance of landscape areas facing the street.
- 3.29 All ground floor dwellings should have a generous landscaped private open space and outdoor sitting area facing the street.
- 3.30 Balconies facing the street should have generous dimensions to provide useable outdoor sitting spaces.
- 3.31 Balconies, porches and loggias should be designed such that they do not open towards adjacent private open spaces.





### **Vehicular Access and Car Parking**

- 3.32 On-site parking should generally be located behind the building line and within basements.
- 3.33 No car parking, carports or garages will be permitted forward of the building line along the Canberra Avenue and Empire Circuit frontages.
- 3.34 Parking basements and ventilation openings are to be concealed from public view. Basement ventilation openings which face the street should be horizontal to the ground plane and attractively integrated with architectural and landscape treatments. Such elements should not comprise more than 20% of the ground plane forward of the constructed building line.
- 3.35 Vehicular access and egress should generally result in a lesser number of driveways than currently serves the site. Vehicles should be able to turn around within the building basement and egress the site in a forward direction.
- 3.36 Car parking for development proposed on site should be provided to the satisfaction of the Territory in accordance with the ACT Government standards.
- 3.37 Shared easements of access for vehicles and common parking basements should be arranged to the satisfaction of the Territory in accordance with the ACT Government standards.

### **Signs**

- 3.38 All signs should be in accordance with Section C3 – Signs Policies of the Territory Plan with special attention given to the integration of signs with building design and landscaping.

### **Electrical & Mechanical Equipment, Storage and Service Areas**

- 3.39 Careful consideration should be given to the siting of all substations, storage and service areas such that the visual impact is minimised. Such elements should not be located in front of the building line and should not detract from the general amenity of public areas.
- 3.40 Service areas should be carefully integrated with the building and landscape design and screened from public view.
- 3.41 Mechanical equipment including air conditioning units, heat pumps etc. should be carefully sited and totally screened from view from Canberra Avenue and Empire Circuit.



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PRIMARY BUILDING ZONE  
- 3 to 4 STOREYS FROM EXISTING GROUND  
PLANE FRONTING CANBERRA AVENUE



ARTICULATION ELEMENTS  
- MAX SITE COVERAGE 50%



FRONT LANDSCAPE ZONE

REAR LANDSCAPE ZONE



NO VEHICULAR ACCESS



BLOCK BOUNDARY



**NATIONAL CAPITAL AUTHORITY**

10-12 Brisbane Avenue, Barton ACT 2600 ■ GPO Box 373 Canberra ACT 2601 AUSTRALIA  
Tel: (02) 6271 2888 ■ Fax: (02) 6273 4427 ■ [www.nationalcapital.gov.au](http://www.nationalcapital.gov.au)

DRAWING TITLE:

DEVELOPMENT CONTROL PLAN  
BLOCKS 2 TO 6, SECTION 26  
FORREST - Sheet 1 of 3



NORTH

Do not scale off this drawing. Use figured dimensions only  
Verify all dimensions prior to commencing work.

DATE: 24 Jan 2002

DRAWN: AA, rev AS

DCP NO  
171/01/0001  
Drawing 1

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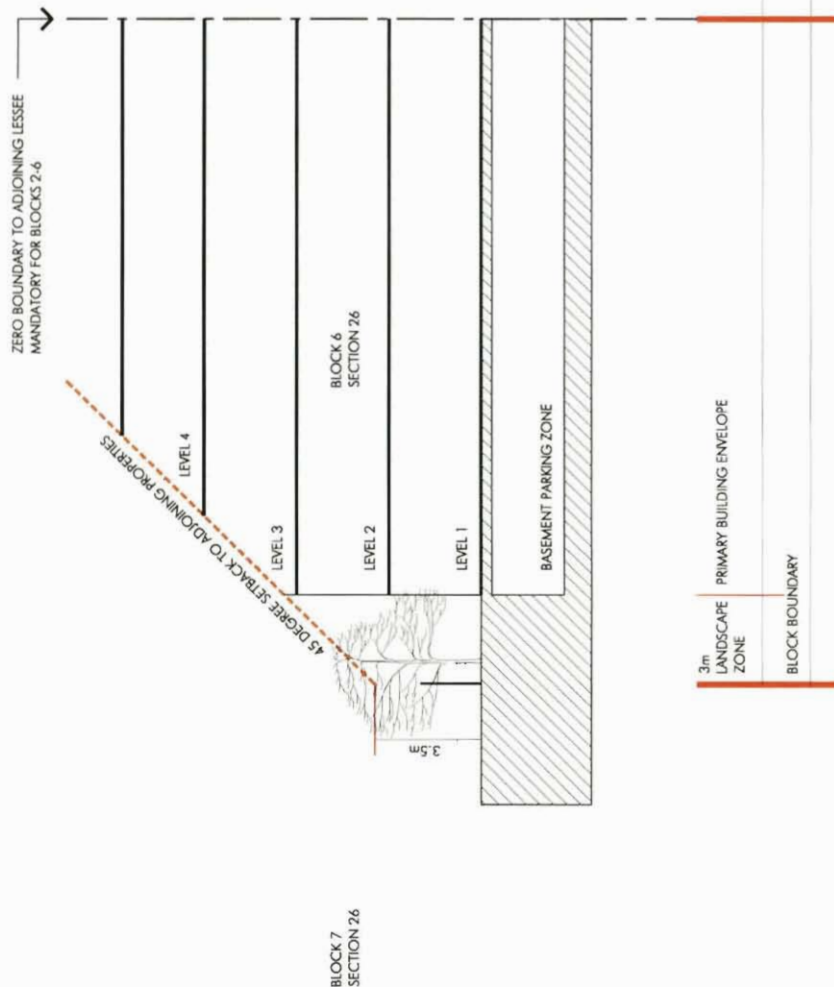
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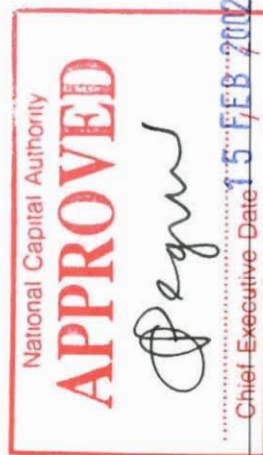
DCP NO:  
171/01/0001  
Drawing 2

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SECTION TROUGH SIDE BOUNDARY



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DRAWING TITLE:

DEVELOPMENT CONTROL PLAN  
BLOCKS 2 TO 6, SECTION 26  
FORREST - Sheet 3 of 3

DATE: 22 Aug 2001

DRAWN: AA

DCP NO:  
171/01/0001  
Drawing 3

SCALE: 1:250 @ A4

CHECKED: SM

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