



Commercial Office Building

19 National Circuit
Barton, Canberra

WORKS APPROVAL

SEPTEMBER 2020 | REVISION - A



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Development Summary

Property Address

19 National Circuit, Barton, ACT 2600
Block 5 Section 22, Division of Barton

Local District

District of Canberra Central (Inner South)

Zone

‘Designated’ under National Capital Plan
York Park Area (Barton Precinct Code)

Site Area

6,657 m² (DP 8023)

Site Coverage

4,324 m² (65%)

Building Height

6 Storeys

Area Summary

GFA	Total – 21,483 m ²
NLA	Total – 18,128 m ²
Cafe	Total – 133 m ²

Sustainability Targets

- 6 Star NABERS
- 6 Star Green Star V1.3
- WELL Rating Silver

Carparks

Basement 1	110 Cars
Basement 2	115 Cars
Total	225 Cars
Accessible Bay	8
Motorbike Bay	8

End of Trip Facilities

Green Star - Design & As Built v1.2

Secured Bicycle Parking	136
Showers	18
Lockers	214
Accessible Shower	1



Design Statement

Urban Realm

The building will be a striking building within the locale. The ground floor will be highly activated by people accessing the lobby from the forecourt, the north or the east as the development sits on two street corners.

Pedestrian access is through a highly vegetated frontage similar to the existing. The porte-cochere sits immediately adjacent to the entry. The retail Café is located at the lobby entry, maximising its exposure to the building occupants. All servicing is via the rear of the site off the side street.

Entry into the lobby is directly from the forecourt - occasional drop-off at the front or from the visitor parking to the rear. A feature void connects the Cafe and Lobby to the building entrance, enticing the occupants' experience and natural lighting. People can relax outdoors adjacent to the café area on the National Circuit frontage, or in the many external seating areas positioned amongst the landscape.

Barton Precinct Code

The building responds positively to the precinct code, recognises and complements the precinct character as a major employment centre and of national importance with its contemporary architectural form. The ground floor activation enriches vibrancy and amenity, contributes to the Precinct as an attractive place to work and live.

Building Form

The building form is contemporary with deep recesses, large overhangs, outdoor balcony areas, and shaded windows. The form steps in and out providing a very articulated, timeless façade. The materiality is corporate whilst timeless with the use dark grey tinted glass, and metal screening used for sun-protection and timber for warmth along the pedestrian zone.

The architecture has a striking appearance with the use of an angular screen to the north to distinguish against the adjacent building along Darling Street. The lobby entry is curvaceous in nature with stepped greenery up the façade.

Shading

To the West, the building is articulated with large slab overhangs with screens to provide solar protection in addition to the core, which has purposefully been positioned to reduce direct sunlight from this direction.

The Northern façade features pivoted articulated slabs with vertical sun-shading devices. To the East, vertical sun-shading devices protect the building from the early sun.

Floor plate size & configuration

The current typical floor plate is currently configured to maximize the visual exposure from the two street corner and to minimise exposure to the two buildings behind.

Therefore, the long faces of the floor plate are orientated to National Circuit which faces East and captures all view lines. The resultant floor plate is a regular floor plate with a rear core to the western façade which helps to reduce the solar impact of the sun in this direction.

The office area is thus unencumbered by any core allowing it to work for a single -floor tenant or multi-tenant. The core is split into two sides allowing the lift lobby to have external windows. The building has structural grids of 8.4m x 10.8m to limit the number of columns within the tenancy space.

Floor plate access to natural light

The typical floor has excellent lighting conditions with all areas accessed by natural light. This is the result of the floor plate design of 30m width and two atriums, allowing for maximum light penetration to the building form.

The floor plate includes two atriums to the centre of the North & South wings, allowing for any single building tenant wanting to connect levels whilst still providing a connection from the south to the north of the floor plate.



DARLING STREET PROPOSED OFFICE BUILDING

Design Statement

Servicing

The building is serviced from a loading areas located to the rear of the building. Access into the refuse area and bin areas is directly accessible from this space. Adjacent to the servicing is many visitor cars and basement entry. A rear entry into the building also connects into the lobby.

Security

The CPTED Principals to be applied will include passive surveillance, access control, territorial reinforcement and Space management. The proposed office building will include protective barriers to respond to the following risks:

- Site risk specific
- Appropriate to threat
- Embrace Health & Safety
- Sympathetic to physical constraints
- Maintainable & Manageable

The building will also include CCTV surveillance not limited to:

- DDA access/egress point
- Main Entry/Exit
- Public circulation
- Loading area
- Overall carpark
- Driveways

Vandal resistant lighting will be installed for 24/7 support for:

- CCTV surveillance
- Discourage ant-social behaviour
- Reduce opportunity for crime & Vandalism
- Protecting staff, visitors & public

Bollards will be installed to comply with PAS68 & 69 and will be suitable for the visually impaired.

We will maximise “visual permeability” and opportunities for “passive surveillance” and avoid “blind” corners, especially on stairs, in corridors, and in the location of toilets. All rooms should have glass panels from corridors to increase security and windows should be used to increase observation of external areas.

Any landscape features will be low enough not to provide concealment. We will ensure appropriate security measures are in place for safe and secure parking for visitors and retail patrons. This is particularly important in the open air car parking area, where landscaping along the border should provide a visual perimeter to the car park without compromising sight lines. The use of low level landscaping, interspersed with high canopy trees, will discourage trespassing.



BARTON SECTION 22 - PROPOSED OFFICE BUILDING

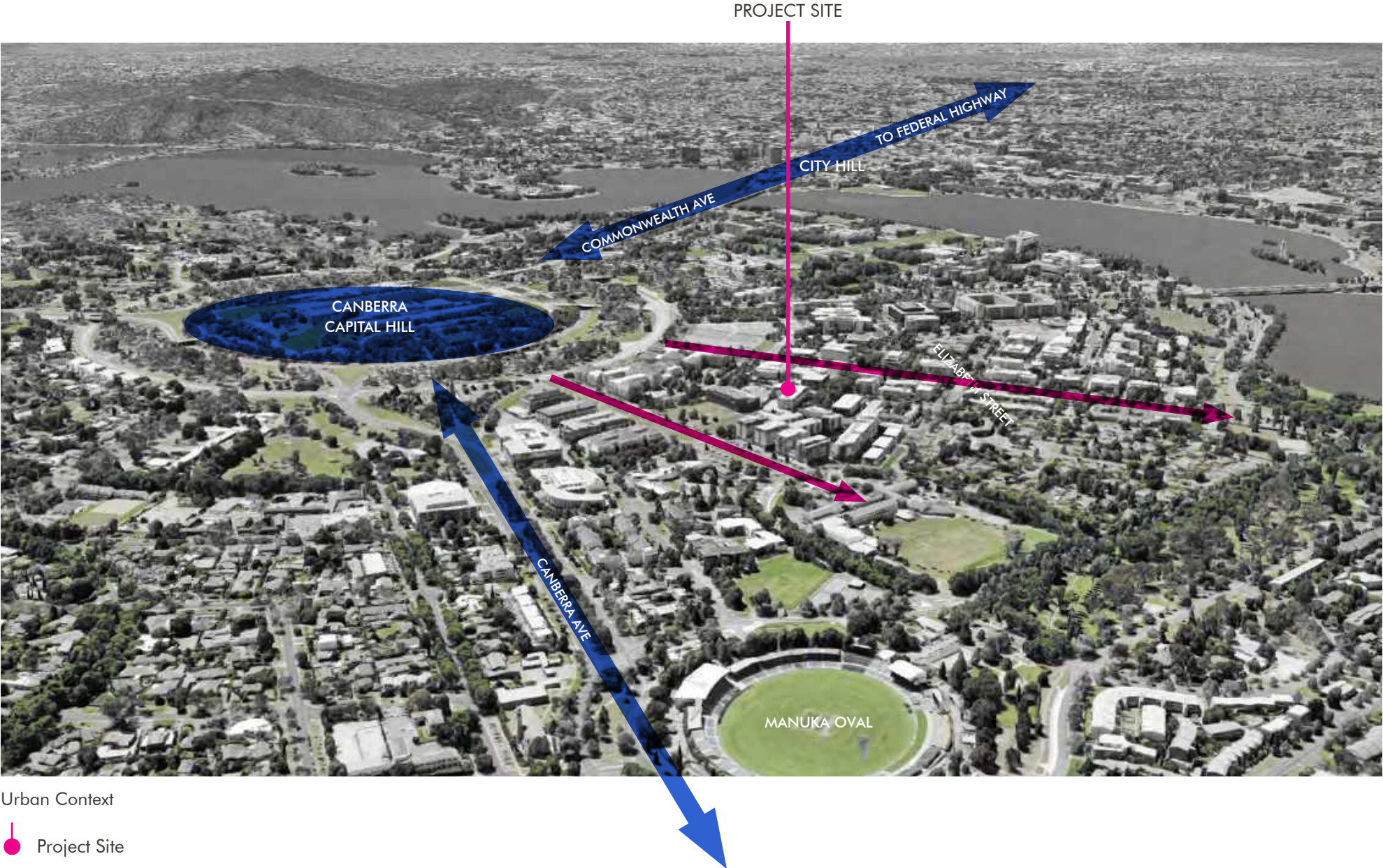


01

SITE CONTEXT

01 Site Context

Street Hierarchy and Landmarks



Urban Context

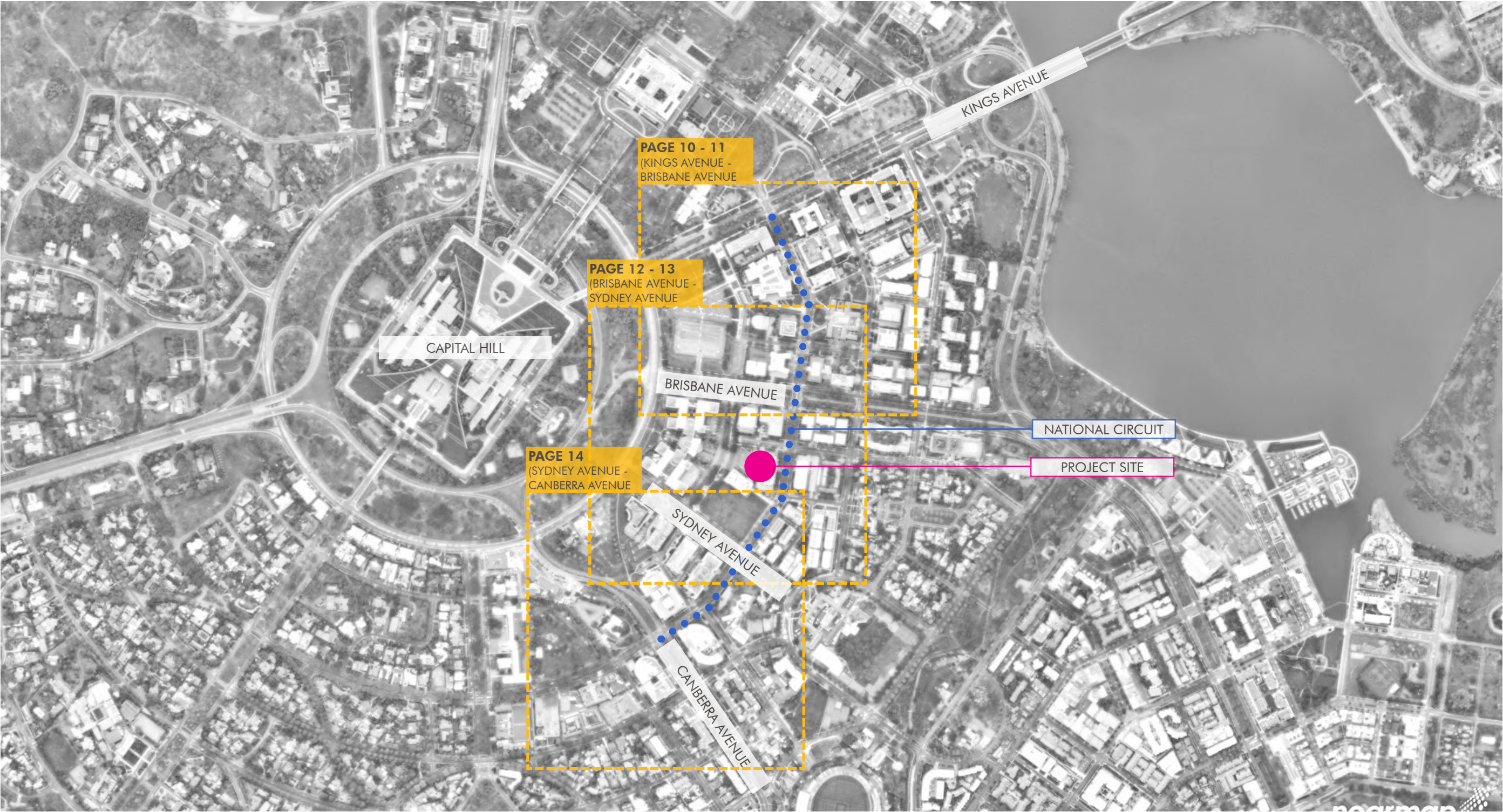
- Project Site
- Canberra Avenue, Commonwealth Avenue and Federal Highway
- Landmarks
- Brisbane Avenue and Sydney Avenue

Images from top to bottom

- City Hill
- Parliament House
- Manuka Oval
- Little National Hotel Canberra

01 Site Context

Location Plan



01 Site Context

Kings Avenue to Blackall Street

- 1 NATIONAL CIRCUIT
DEPARTMENT OF PRIME MINISTER AND CABINET

ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)
- 2-4 NATIONAL CIRCUIT
OFFICES

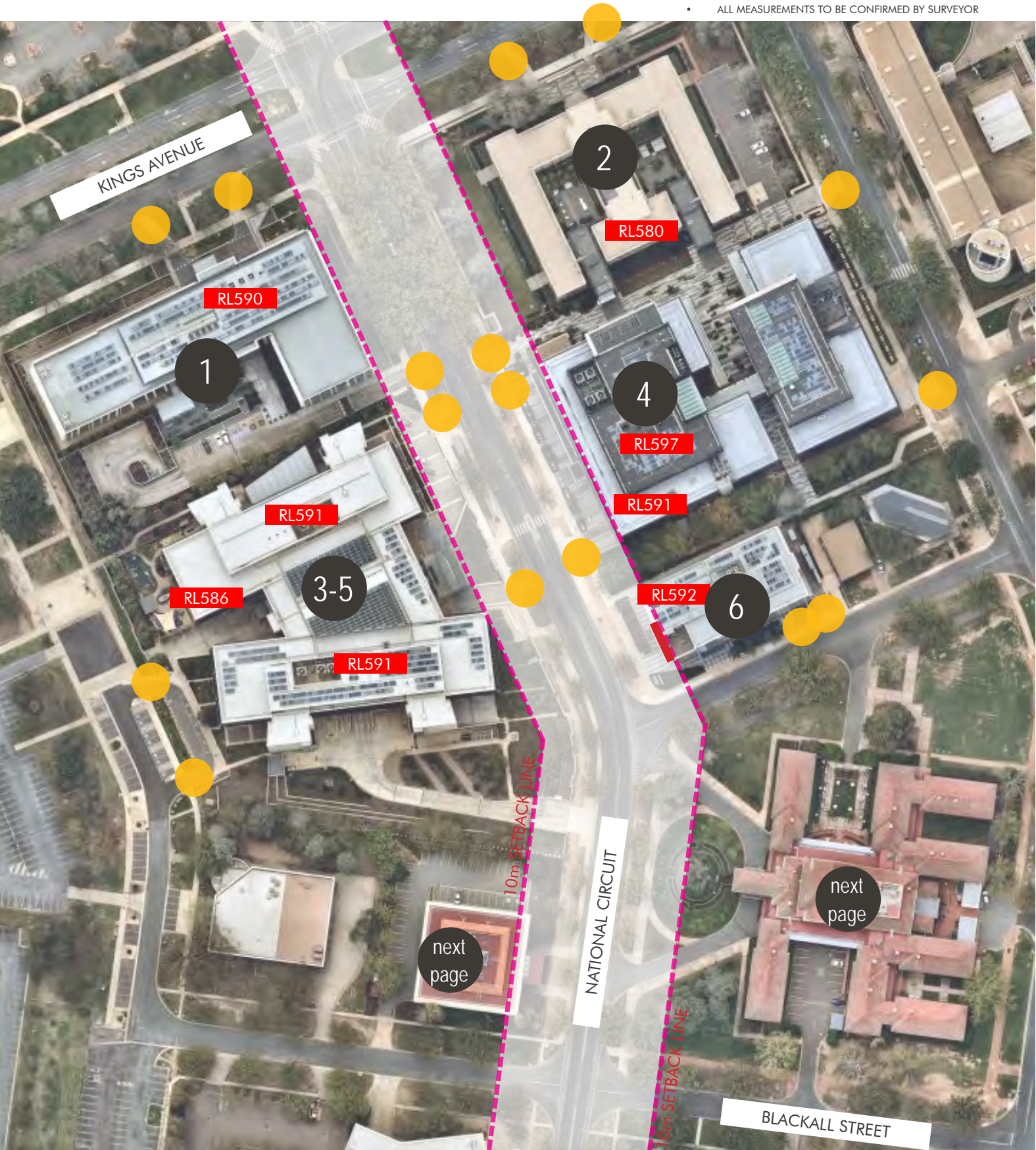
ROAD CROSSOVERS: 7 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)
- 3-5 NATIONAL CIRCUIT
McLACHLAN OFFICES

ROAD CROSSOVERS: 5 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)
- 6 NATIONAL CIRCUIT
OFFICES

ROAD CROSSOVERS: 2 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~9m (measured from footpath - nearmap)



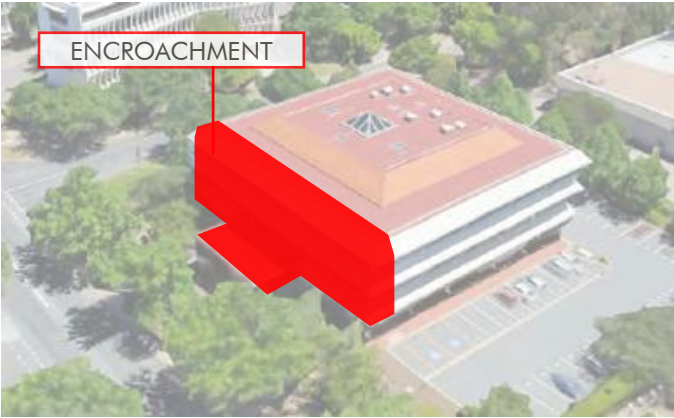
- NOTES
- SETBACK DISTANCE MEASURED FROM NEARMAP FOOTPATHS
 - BUILDING HEIGHT OBTAINED FROM GOOGLE EARTH
 - ALL MEASUREMENTS TO BE CONFIRMED BY SURVEYOR



01 Site Context

Blackall Street to Brisbane Avenue

7 NATIONAL CIRCUIT
JOHN McEWEN HOUSE
ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~3-9m (measured from footpath - nearmap)

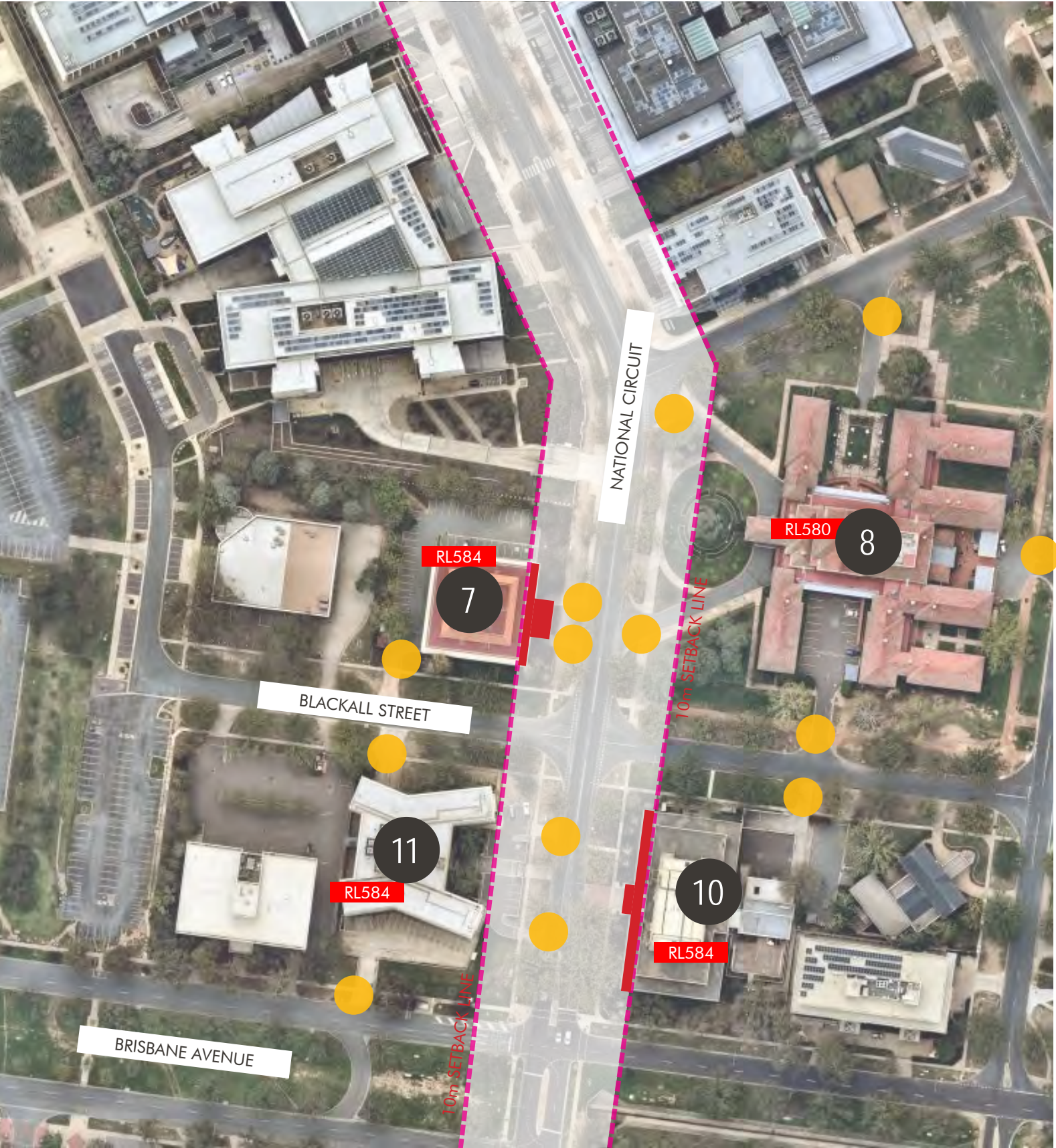


8 NATIONAL CIRCUIT
HOTEL
ROAD CROSSOVERS: 5 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: over 10m (measured from footpath - nearmap)

10 NATIONAL CIRCUIT
OFFICES
ROAD CROSSOVERS: 1 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~2.6 - 6m (measured from footpath - nearmap)



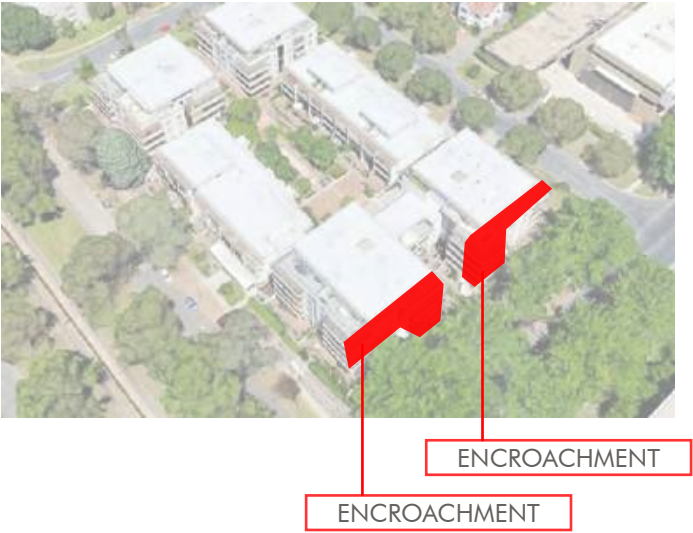
11 NATIONAL CIRCUIT
ENGINEERING HOUSE
ROAD CROSSOVERS: 4 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)



01 Site Context

Brisbane Avenue to Sydney Avenue

- 15 NATIONAL CIRCUIT
OFFICES
ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)
- 19 NATIONAL CIRCUIT
PROPOSED OFFICE
ROAD CROSSOVERS: 4 (include occasional drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~3.2 - 10m (varies - stepped articulated facade)
- 21 NATIONAL CIRCUIT
LITTLE NATIONAL HOTEL
ROAD CROSSOVERS: 2 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: not applicable
- 12-14 NATIONAL CIRCUIT
THE NATIONAL APARTMENTS
ROAD CROSSOVERS: 2 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~6.5m (measured from footpath - nearmap)



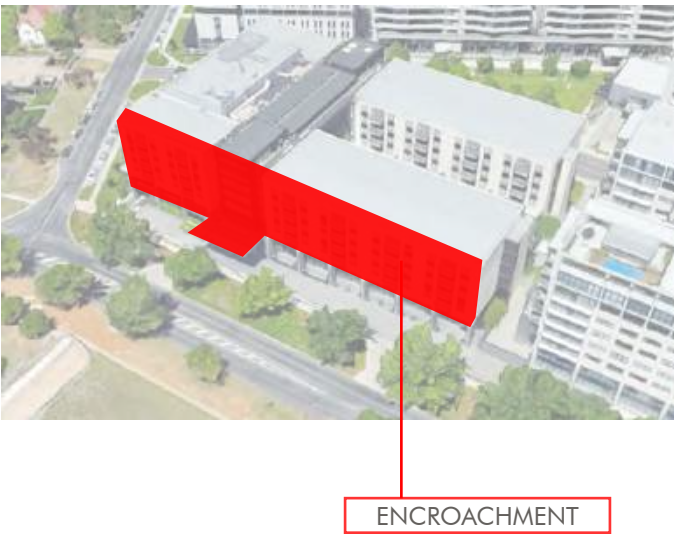
01 Site Context

Brisbane Avenue to Sydney Avenue

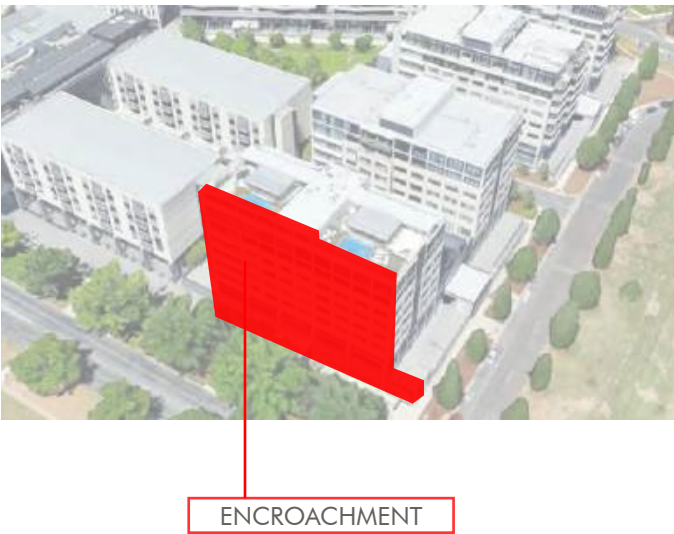
16 NATIONAL CIRCUIT
NATIONAL PRESS CLUB OF AUSTRALIA
ROAD CROSSOVERS: 4 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~8m (measured from footpath - nearmap)



18 NATIONAL CIRCUIT
HOTEL REALM
ROAD CROSSOVERS: 4 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~8m (measured from footpath - nearmap)



9 SYDNEY AVENUE
APARTMENT
ROAD CROSSOVERS: not applicable
CROSSOVERS MATERIAL: not applicable
SETBACK: ~7m (measured from footpath - nearmap)



01 Site Context

Sydney Avenue to Canberra Avenue

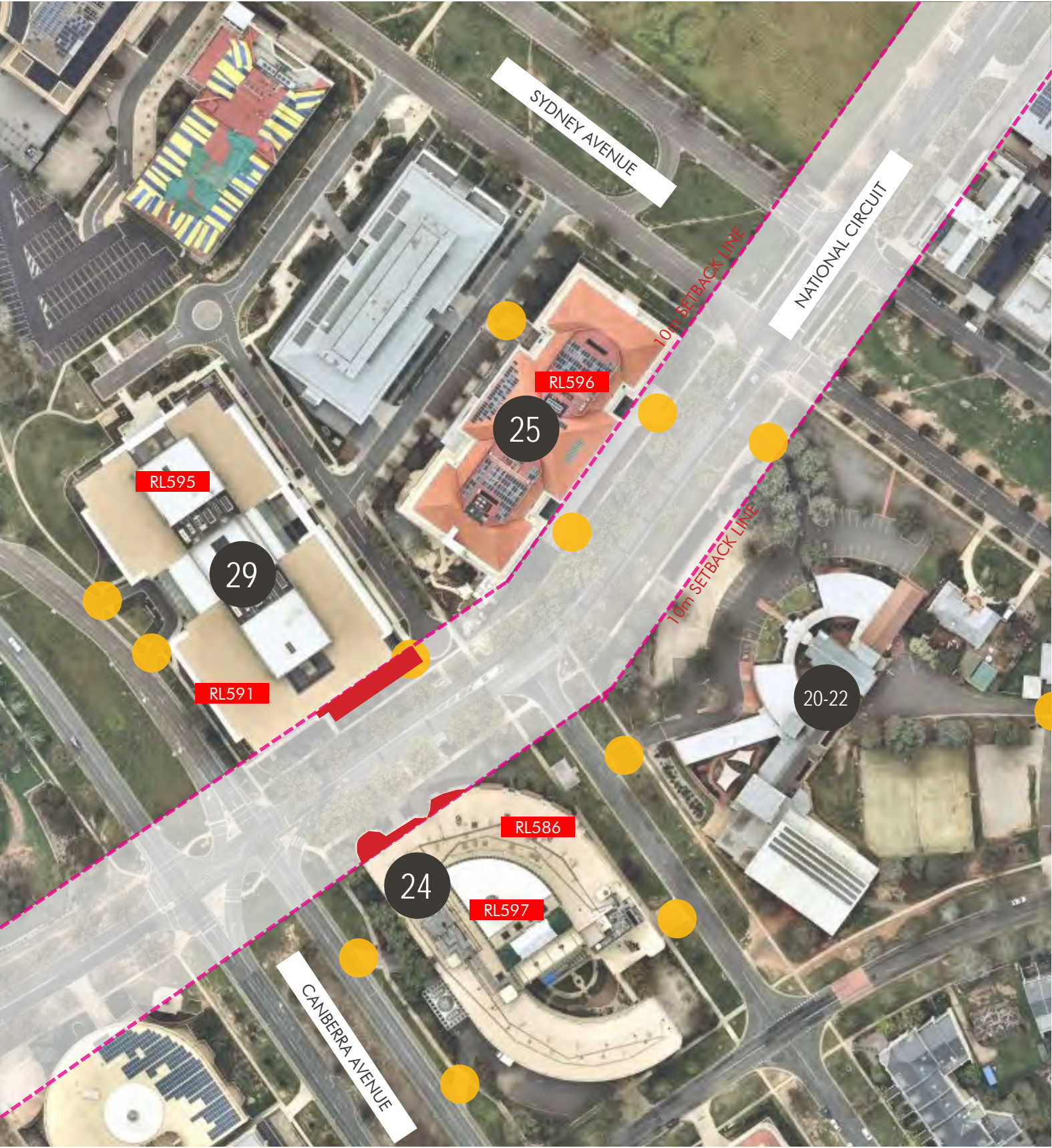
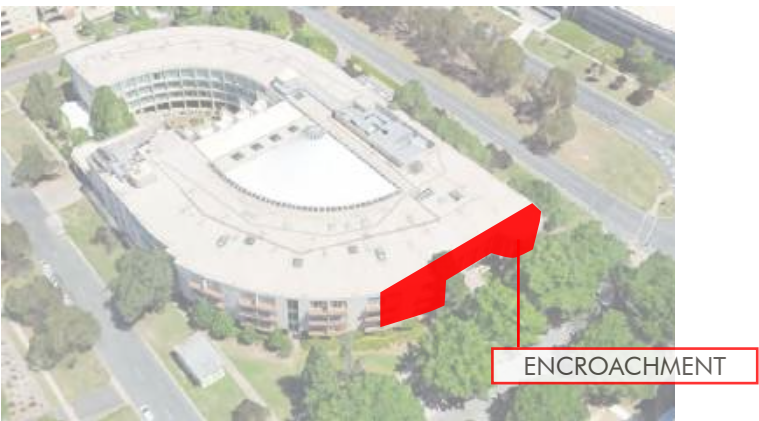
25 NATIONAL CIRCUIT
MINTER ELLISON OFFICE
ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (measured from footpath - nearmap)

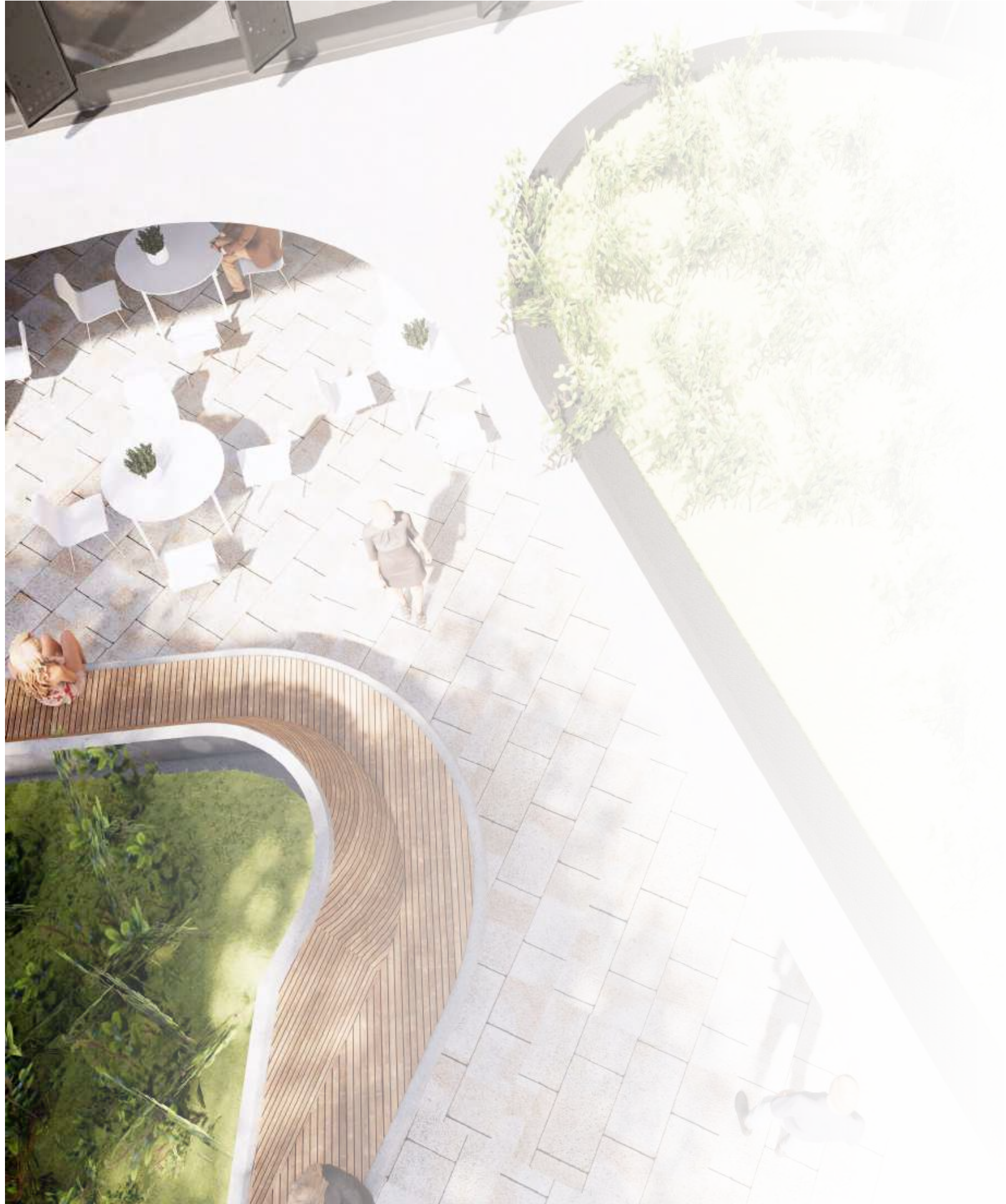
29 NATIONAL CIRCUIT
DEPARTMENT OF FINANCE
ROAD CROSSOVERS: 3 (include occasional drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~10m (varies - stepped articulated facade)



20-22 NATIONAL CIRCUIT
ST AIDAN'S UNITING CHURCH
ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: not applicable

24 NATIONAL CIRCUIT
RYDGES CAPITAL HILL
ROAD CROSSOVERS: 3 (include drop-off)
CROSSOVERS MATERIAL: CONCRETE
SETBACK: ~2 - 9m (measured from footpath - nearmap)



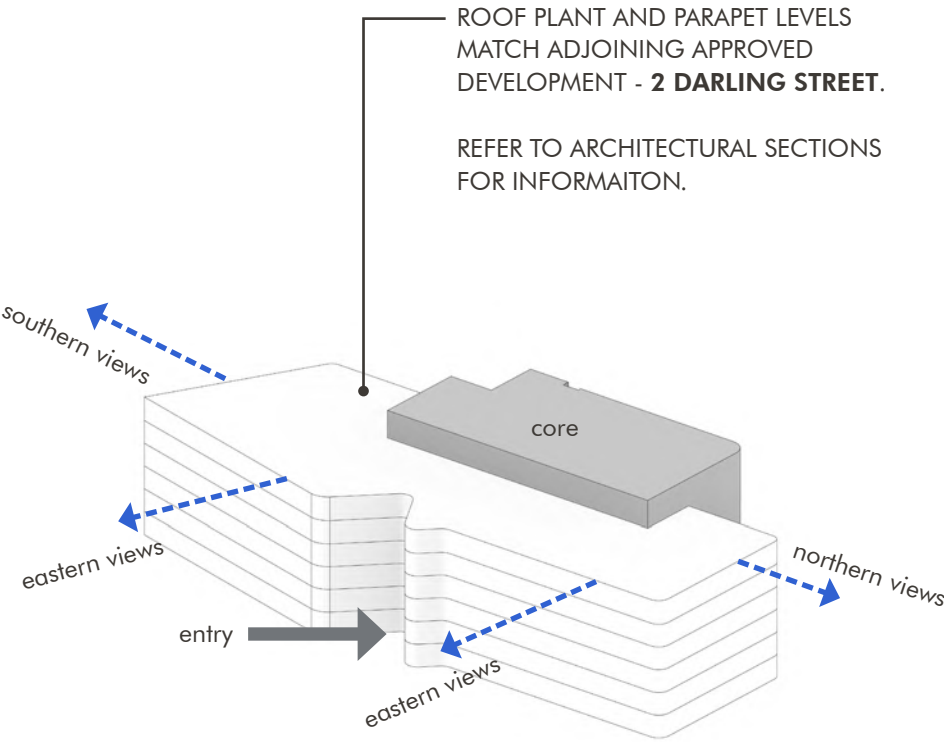


02

DESIGN RESPONSE

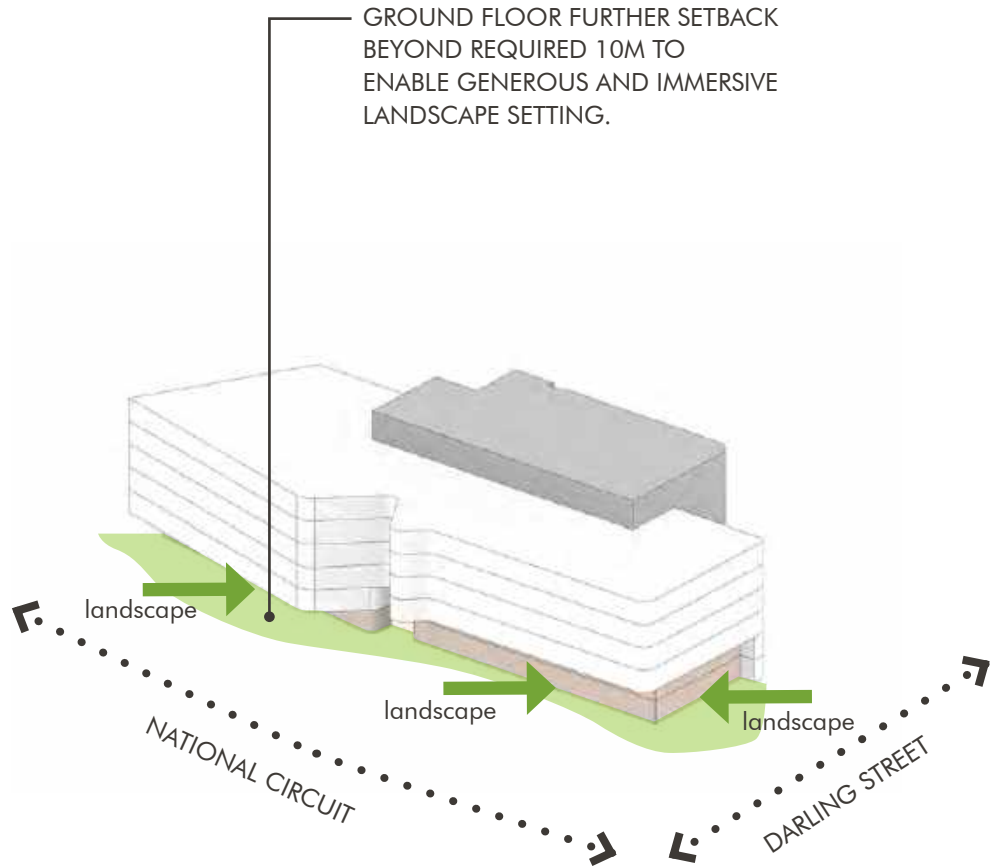
02 Design Response

Massing Envelope



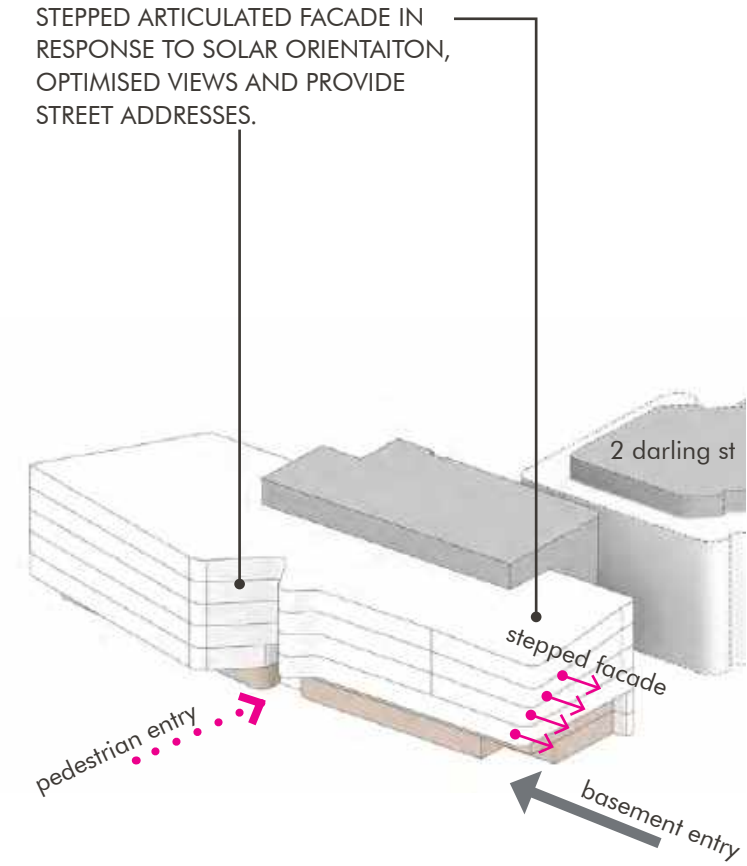
CONTIGUOUS FLOOR PLATE UNENCUMBERED BY CORE

1



GROUND FLOOR SETBACK AND LANDSCAPE

2

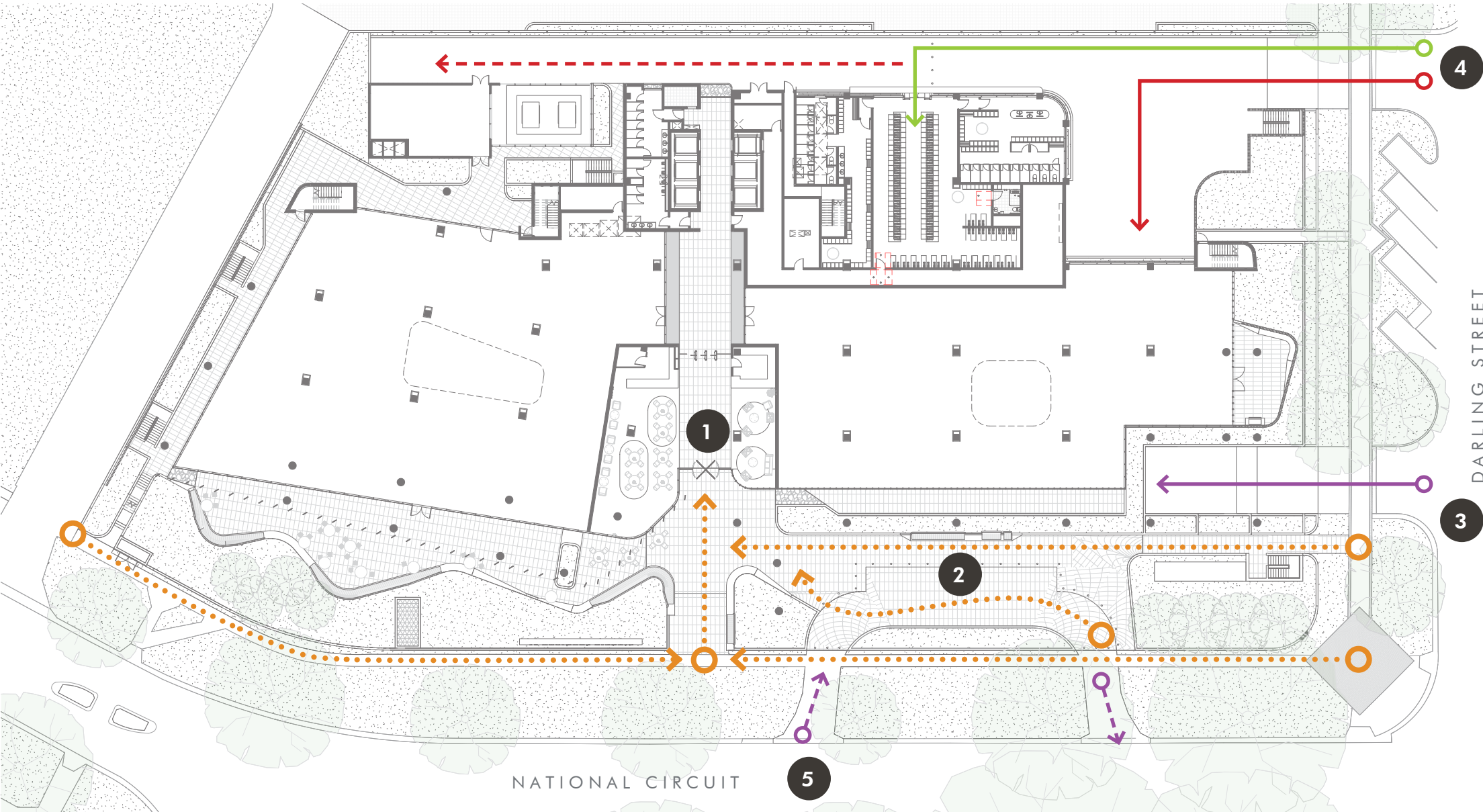


STEPPED NORTH FACADE, PEDESTRIAN AND VEHICLE ENTRY

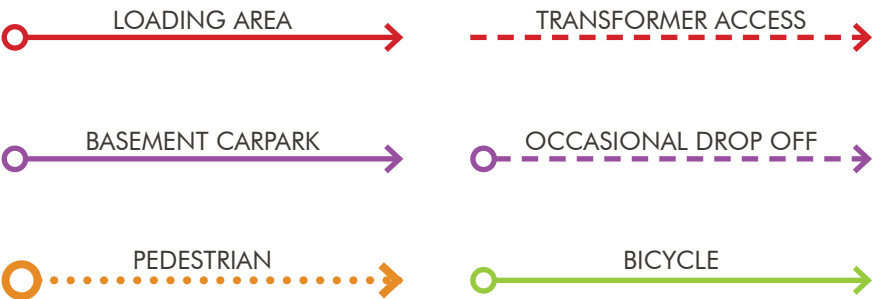
3

02 Design Response

Vehicular and Pedestrian Access



VEHICLE AND PEDESTRIAN ACCESS



01 - LOBBY



02 - OCCASIONAL DROP OFF - FORECOURT



03 - BASEMENT ENTRY



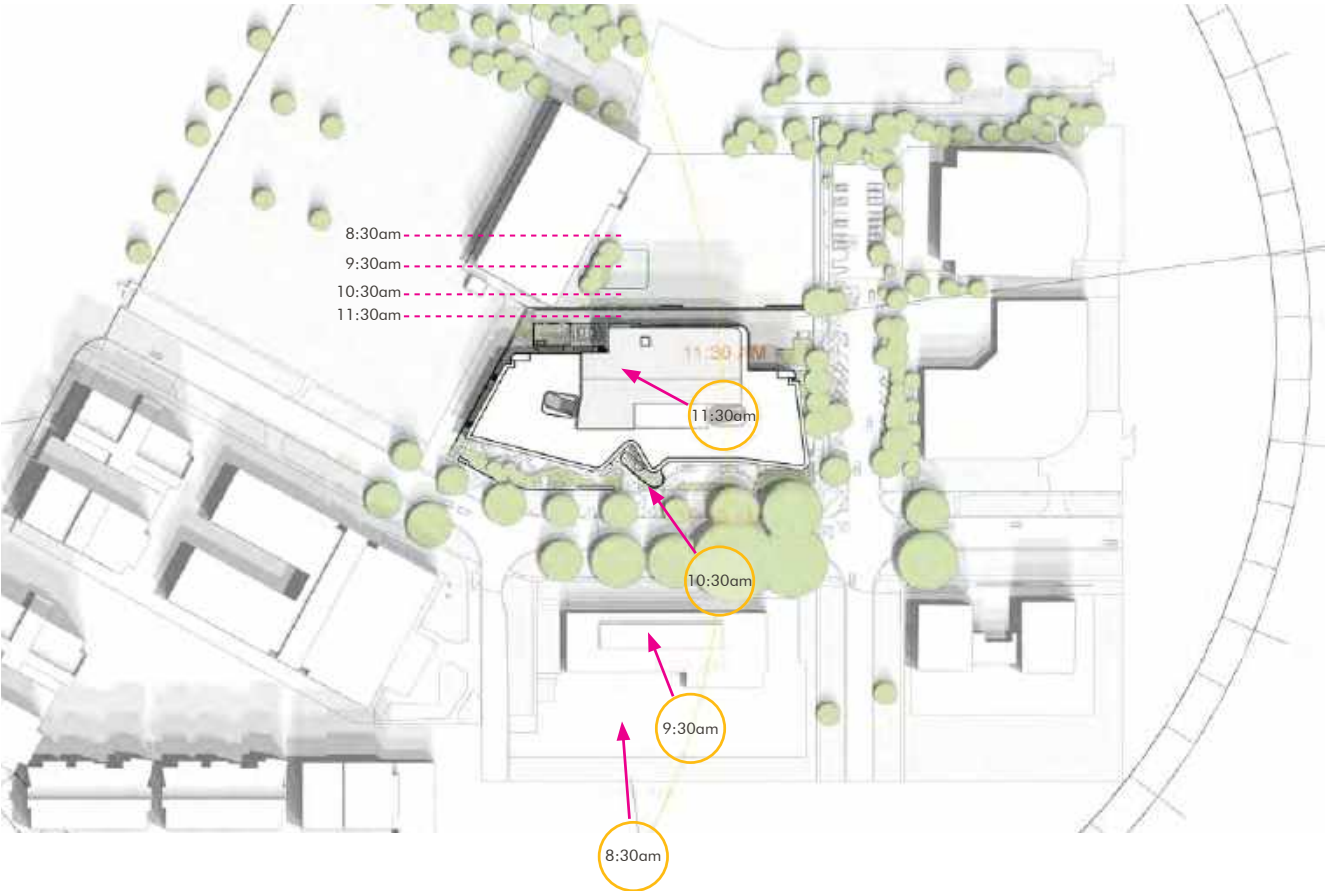
04 - SERVICE VEHICLE ENTRY



05 - OCCASIONAL DROP OFF - FORECOURT

02 Design Response

Solar Analysis



SUMMER SOLSTICE - 22nd DECEMBER



WINTER SOLSTICE - 22nd JUNE

02 Design Response

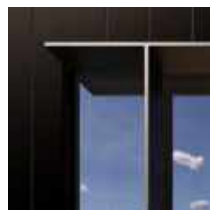
Sunshade Devices



SUNSHADE TYPE 01, 02
PERFORATED MESH PANELS



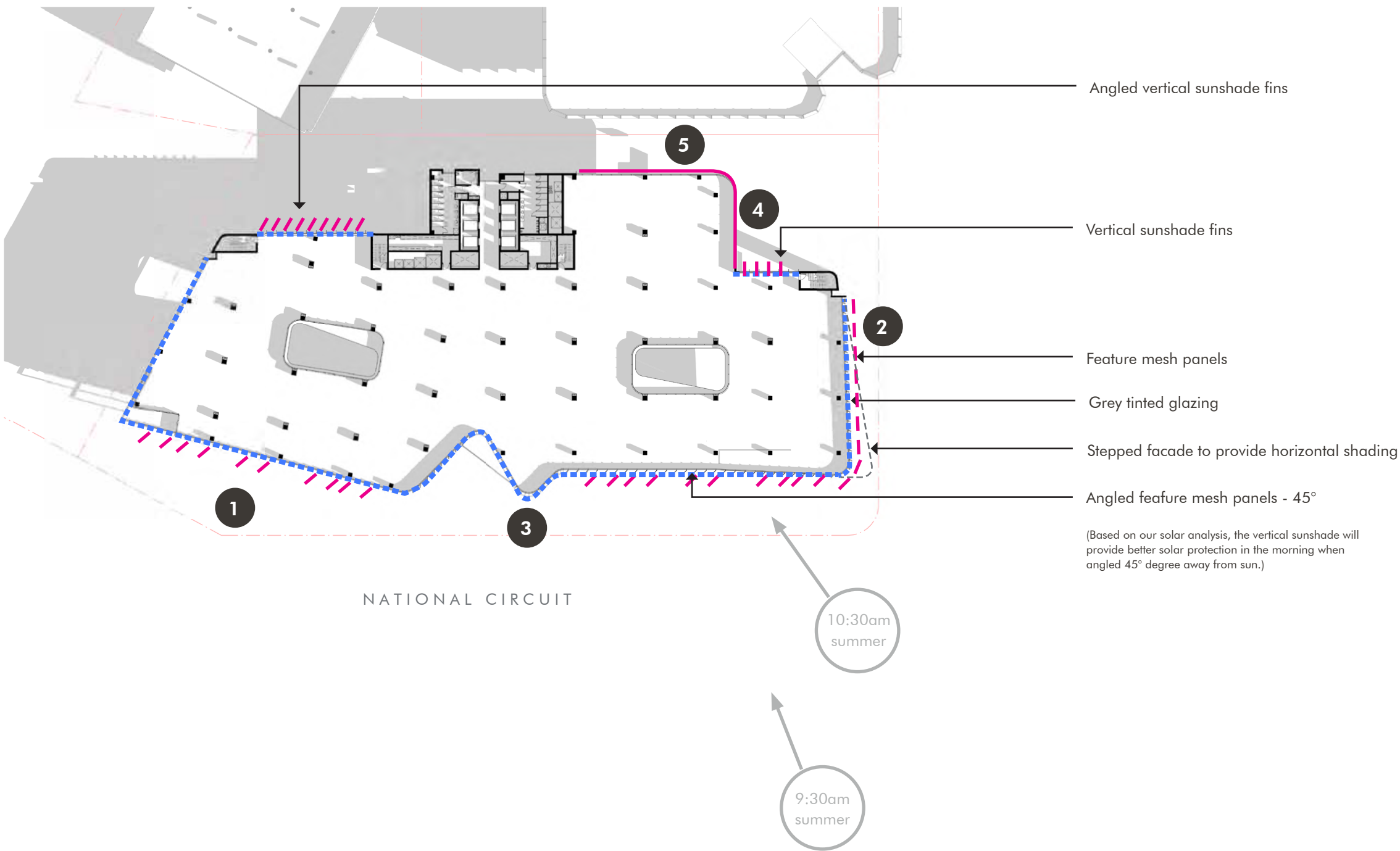
SUNSHADE TYPE 03
HORIZONTAL FINES



SUNSHADE TYPE 04
SUNHOOD WITH VERTICAL FINES



SUNSHADE TYPE 05
SUNHOOD



02 Design Response

Perspective View from Cnr National Circuit and Darling Street



02 Design Response

Perspective View from National Circuit



02 Design Response

Materiality and Texture



CONC01
CONCRETE
COLUMNS,
SLAB PROJECTIONS
AND SOFFIT



CONC02
PRECAST
CONCRETE WALL



RP01
RENDERED & PAINTED
'MONUMENT'
COLOUR



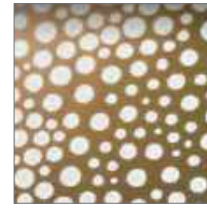
MC01
METAL CLADDING



VP01
TINTED CURTAIN
WALL GLAZING



TS01
FAUX TIMBER
MULLIONS



SSV01
VERTICAL
SUNSHADE



SGF
GLAZING FRAMES &
FEATURE SUNHOOD
AND FINS,
POWDERCOATED
'MONUMENT'



LV01
MECHANICAL
VENTILATION
LOUVRES
POWDERCOATED
'MONUMENT'



CONC03
SERVICES VEHICLE
DRIVEWAY
CONCRETE
(REFER TO
LANDSCAPE REPORT)



PAVER01
GROUND FLOOR
EXTERNAL PAVEMENT
(REFER TO
LANDSCAPE REPORT)

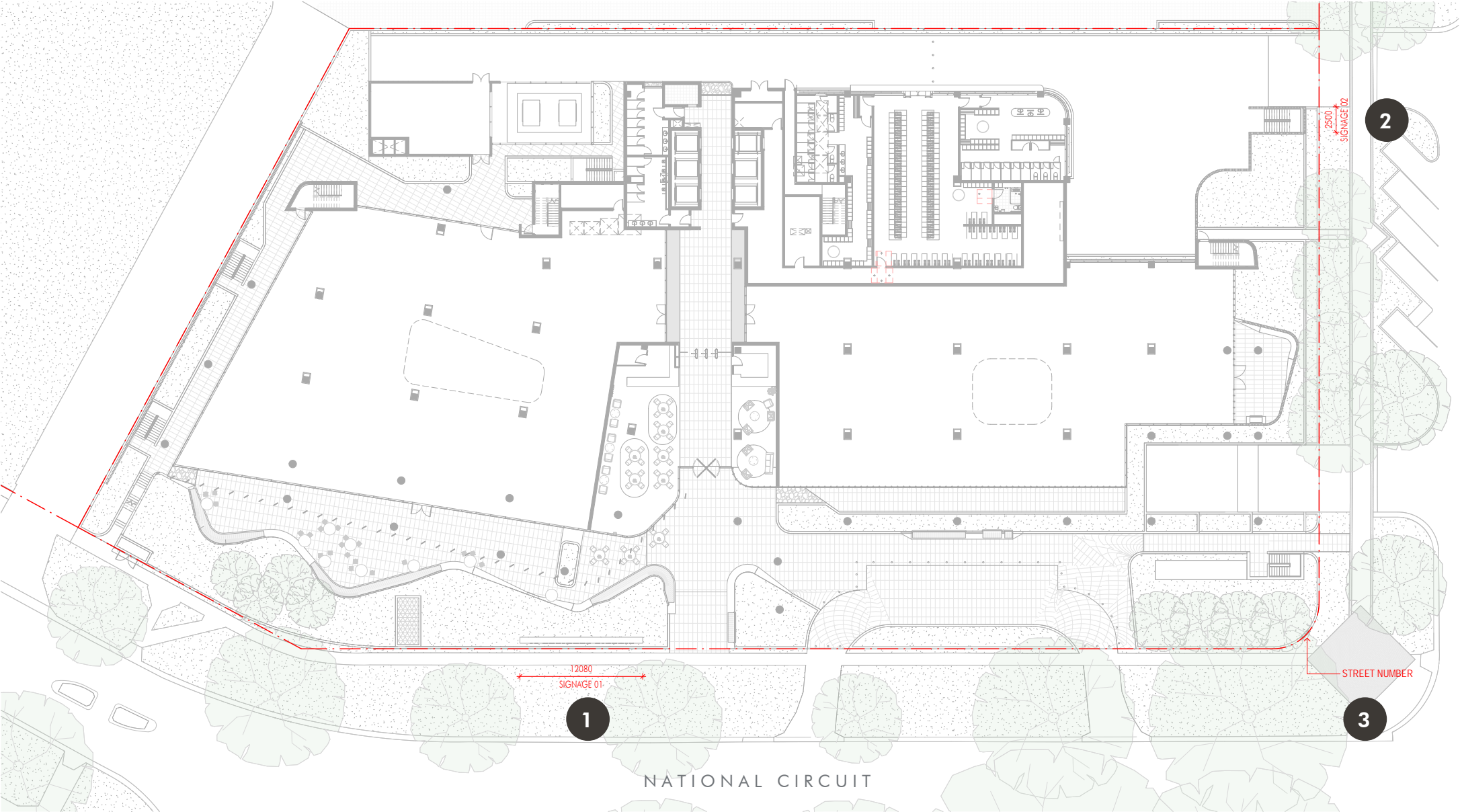


PAVER02
OCCASIONAL
DROP OFF AREA
PAVEMENT (REFER
TO LANDSCAPE
REPORT)

Indicative images only

02 Design Response

Signage Plan



GROUND FLOOR SIGNAGE PLAN



SIGNAGE MATERIAL 01
CONCRETE LOOK FC CLADDING



SIGNAGE MATERIAL 02
METAL TEXT POWDERCOATED COLOUR



SIGNAGE MATERIAL 03
CUTOUT GRAHPIC
POWDERCOATED COLOUR



SIGNAGE 01 - BUILDING NAME AND ADRESS (INDICATIVE IMAGE ONLY)



SIGNAGE 03 - STREET NUMBE



SIGNAGE 02 - DARLING STREET SERVICE VEHICLE ENTRY, BUILDING NAME AND ADDRESS



03

LANDSCAPE RESPONSE

03 Landscape Response

Landscape Design Statement

Landscape Design

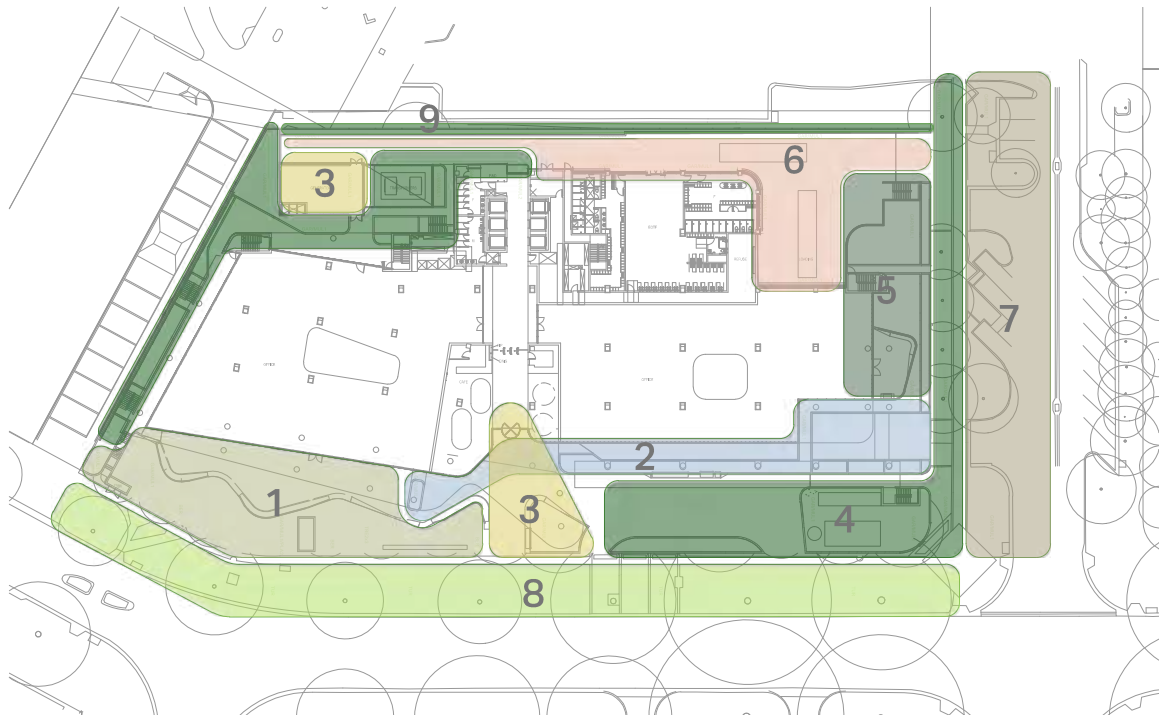
The landscape design responds positively to the precinct character and offers a visually rich experience, drawing on the aesthetic cues and design form of the proposed building.

Plantings will create a network of recognisable character zones, offering an unfolding experience of vegetation communities, each suited to the function, building context and aspect:

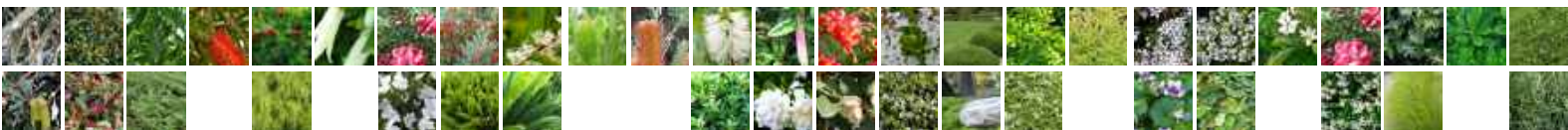
1. Low cover ‘signature’ species plantings to National Circuit, maintaining light penetration to the terrace and offering a textured ground plane in which massed species relate to the organic shaping of building above;
2. Shade-tolerant fern and accent species, providing a lush and richly textured edge to the drop-off and waiting zone, greening building columns, providing visual separation between ground floor interior and public external spaces, and accompanying pedestrians along the linear walkway from Darling Street;
3. Green roof groundcover and massed low shrub plantings, offering a unique vertically layered dimension to the National Circuit frontage, and concealing generator equipment in the south-east corner;
4. Formally arranged linear and mass plantings to north and south frontages, softening linear built form of perimeter walls and offering pleasant outlooks from building interiors;

5. Higher shrubs providing privacy and separation between Darling Street and the northern courtyard and rear service area;
6. Climbing vines and cascading and creepers flanking the rear service driveway, greening the western wall, providing filtered light into end-of-trip interior spaces, and cascading down the loading area wall
7. Replacement of Darling Street verge trees, and continuation of native grassy species already present in the road reserve, and which contribute to the visual connection to the native-plant character of Windsor Walk
8. Retention of verge trees and irrigated turf in the National Circuit verge

Species include a generous representation of Australian natives as a point of difference to many other Barton sites, to reference the Windsor Walk open space character, and offer high water-efficiency. The arrangement of ornamental deciduous and evergreen trees will provide solar amenity to north-facing spaces, capitalise on the deep soil zone along National Circuit, retain vistas to the building at key points of identity and arrival. Tree species have been selected for their seasonal variation, shade cover, and a scale which will not compete with or crowd the current offsite verge trees.



PLANTINGS



REFER TO LANDSCAPE DRAWINGS FOR SPECIES SELECTION

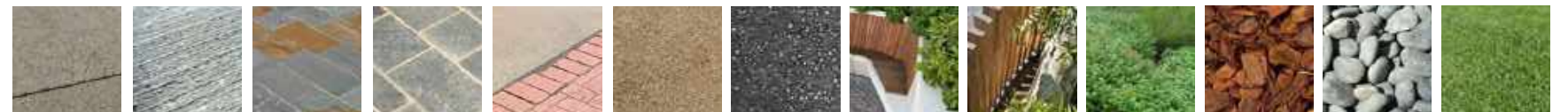
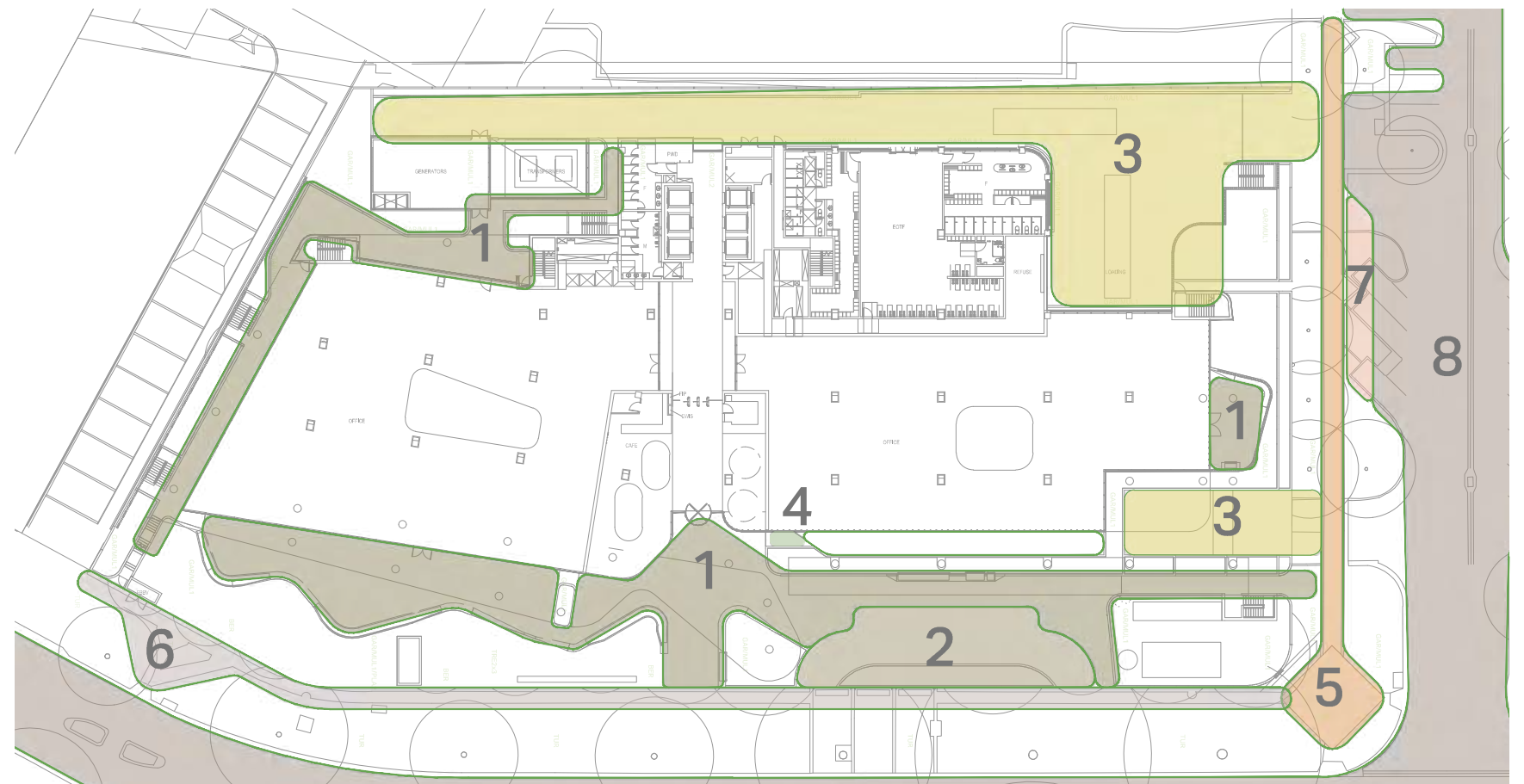
03 Landscape Response

Ground Surfaces

Ground Surfaces

Ground surfaces have been carefully selected to complement building & screen timber features with warm, earth-tones and texture as a point of difference to many other Barton sites and to create a legible hierarchy of public and private zones including:

1. Fine-grained and tactile natural porphyry stone with oxide inclusions accentuating pedestrian spaces – approach paths, forecourt, private terraces and café space;
2. Continuation of porphyry stone across slow-speed drop-off zone, differentiated by slender bollards and transition to all-grey porphyry stone;
3. Warm- coloured, lightly textured concrete surfacing to vehicular domain of service access and basement entry, visually complimentary but distinguishing those zones as mixed-traffic;
4. Pebble mulch surface subtly discouraging public movement into private terraces;
5. Reinstate existing Windsor Walk identifier & connection featuring masonry unit pavers
6. Reinstate existing concrete verge path, and provide supplementary link at worn desire-line ;
7. Utilise gravel surface at high-wear zones around on-street carparking;
8. Adopt asphalt-surface roadway and driveway entries to match existing Darling Street details



REFER TO LANDSCAPE DRAWINGS FOR GROUND SURFACES SPECIFICATION

03 Landscape Response

Ground Surfaces - Forecourt / Occasional Drop-off Area



PORPHYRY STONE

PORPHYRY STONE - OXIDISED

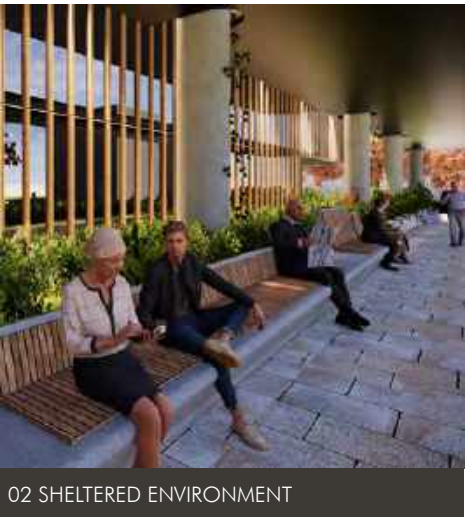
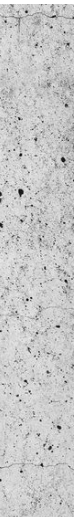
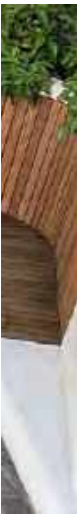
FEATURE CONCRETE SEAT

FERN-LIKE ACCENT SPECIES

HIGH QUALITY CONCRETE FINISH

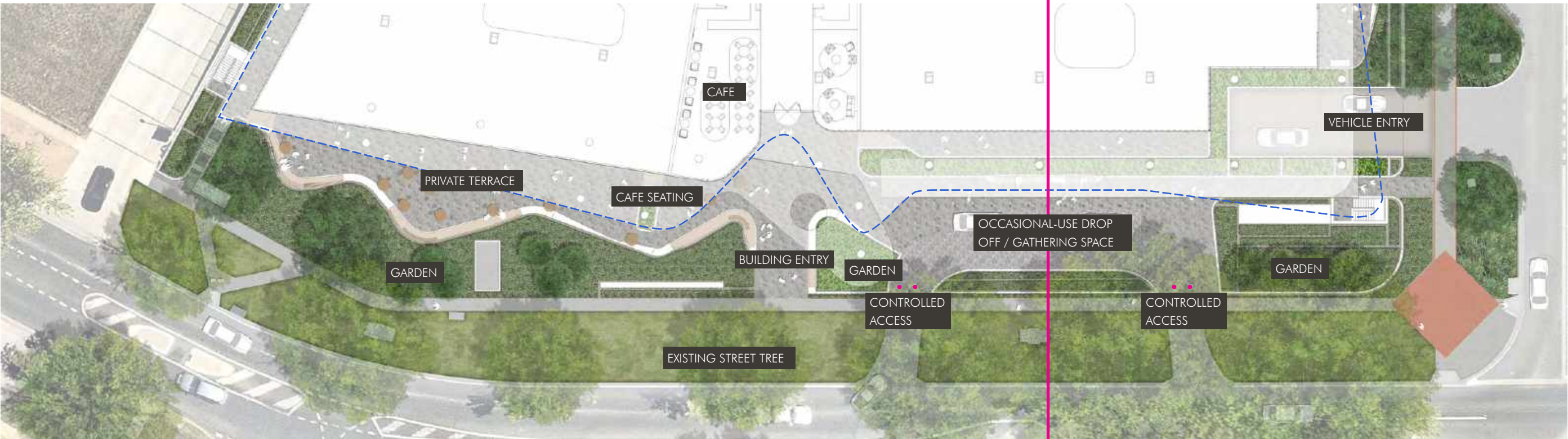
FAUX TIMBER SHOPFRONT

BRONZE ACCENT



03 Landscape Response

Shared Forecourt - Occasional Drop-off Area



LANDSCAPE PLAN
SHARED FORECOURT

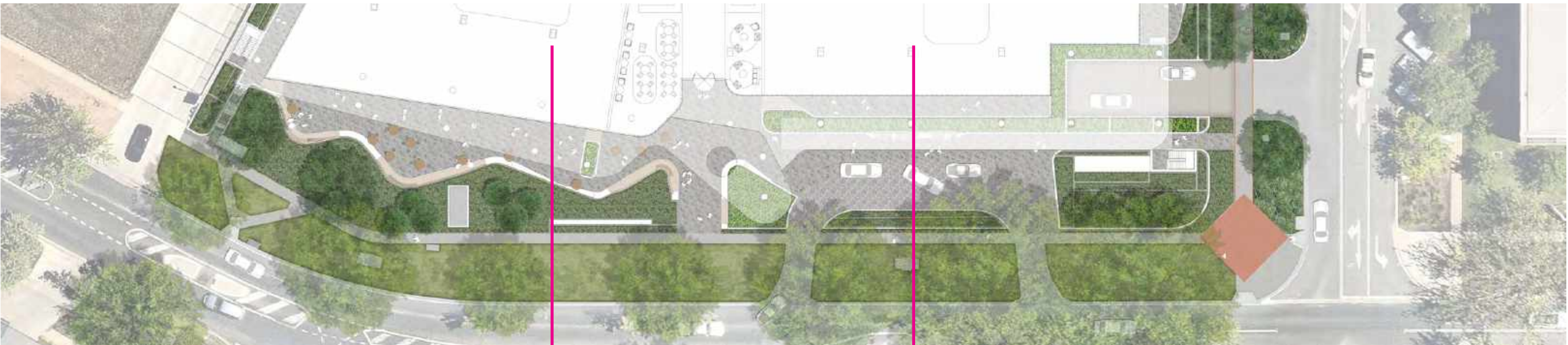
SECTION



SECTIONAL PERSPECTIVE
SHARED FORECOURT

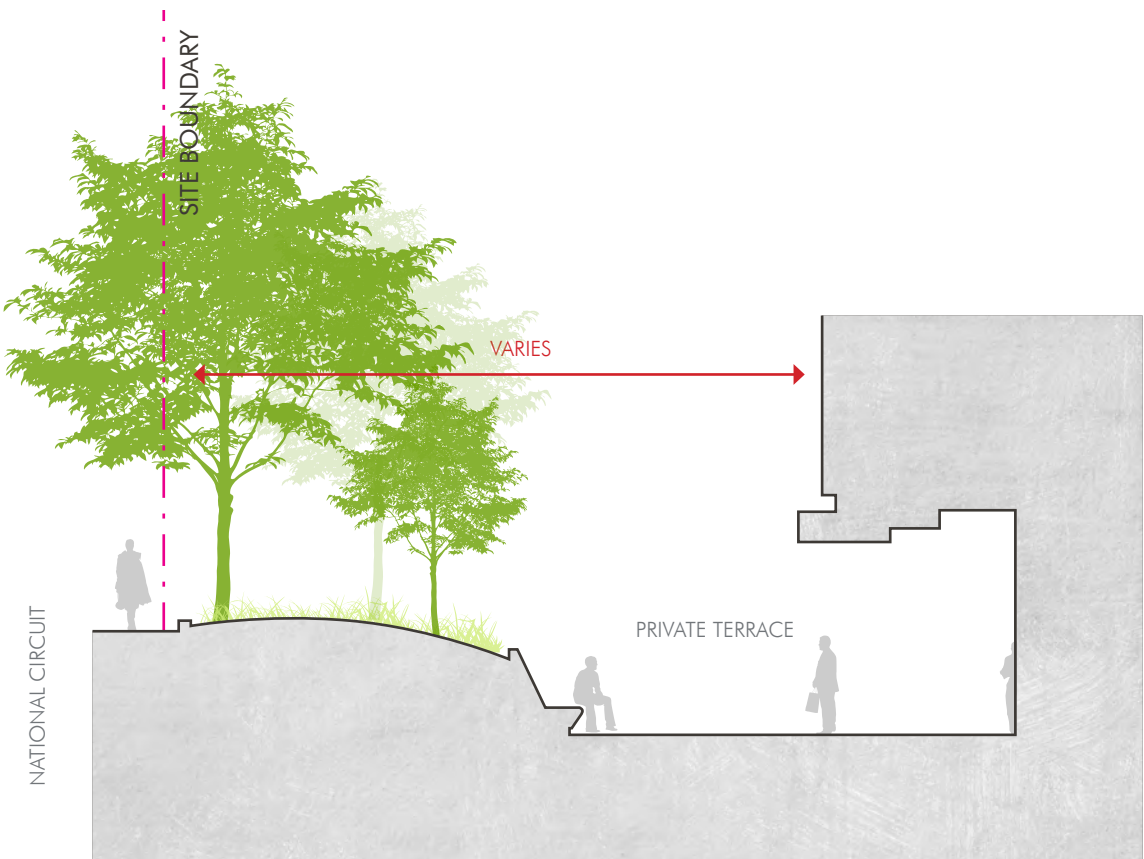
03 Landscape Response

Street Interfaces

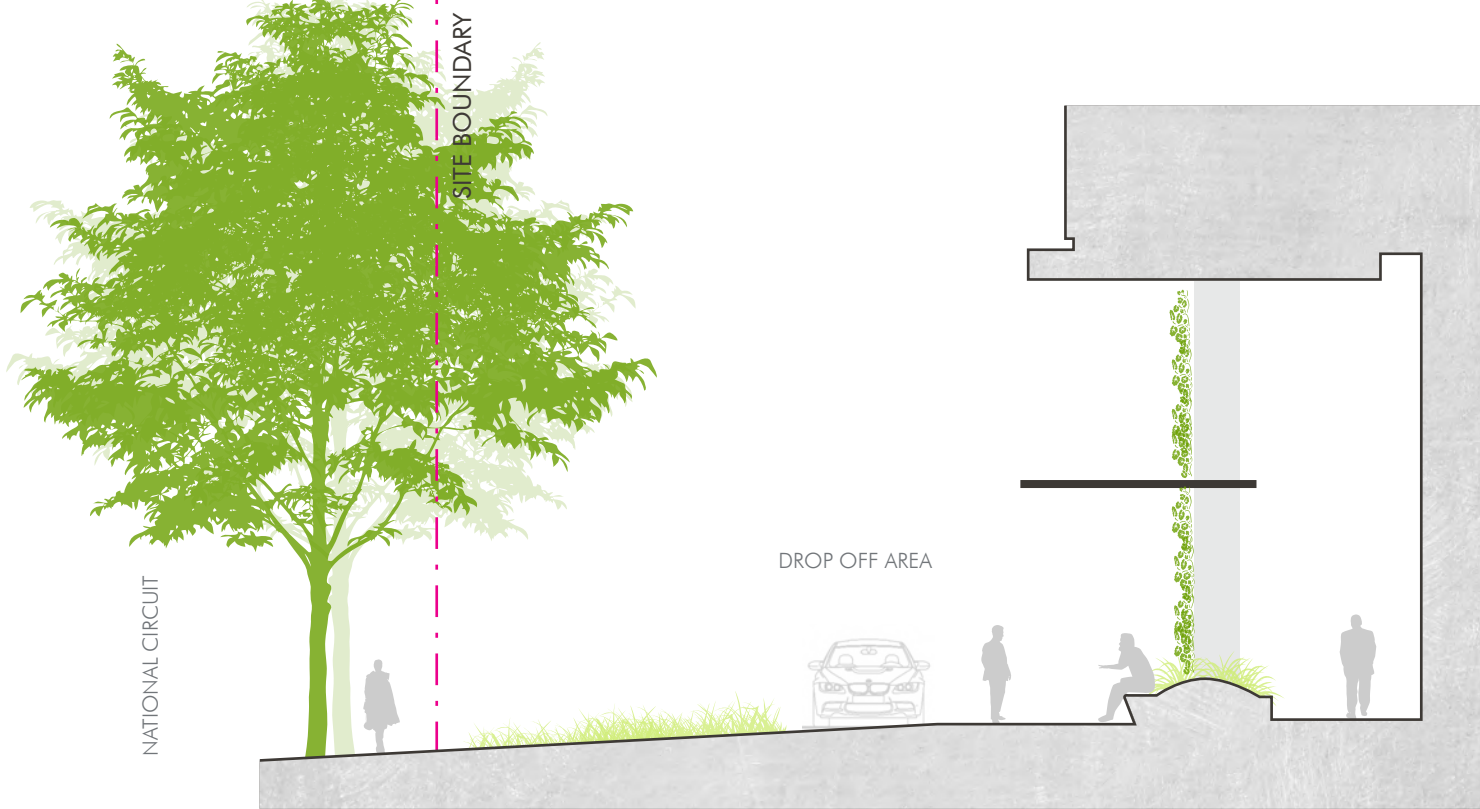


SECTION A
PRIVATE TERRACE

SECTION B
DROP OFF AREA



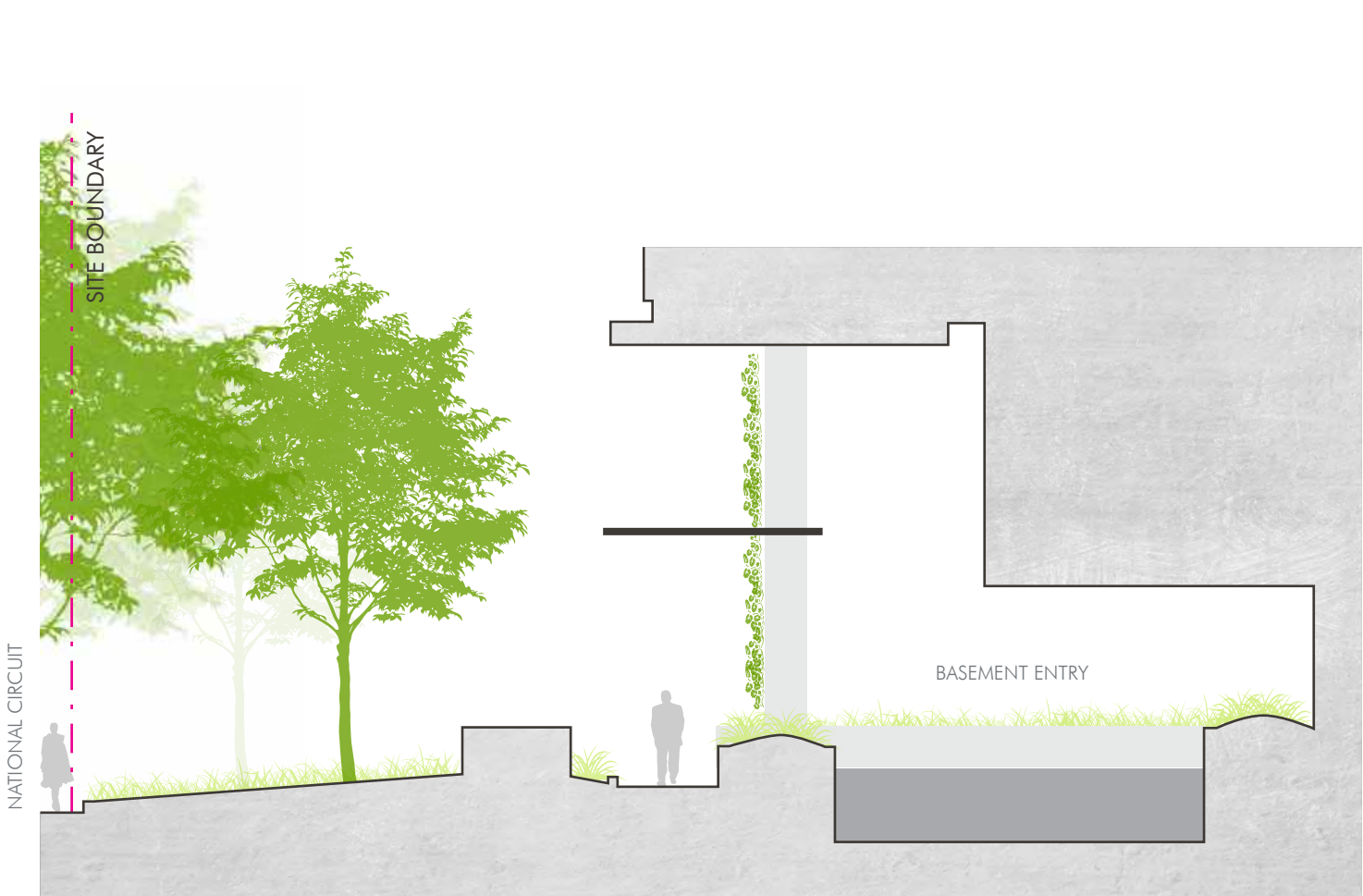
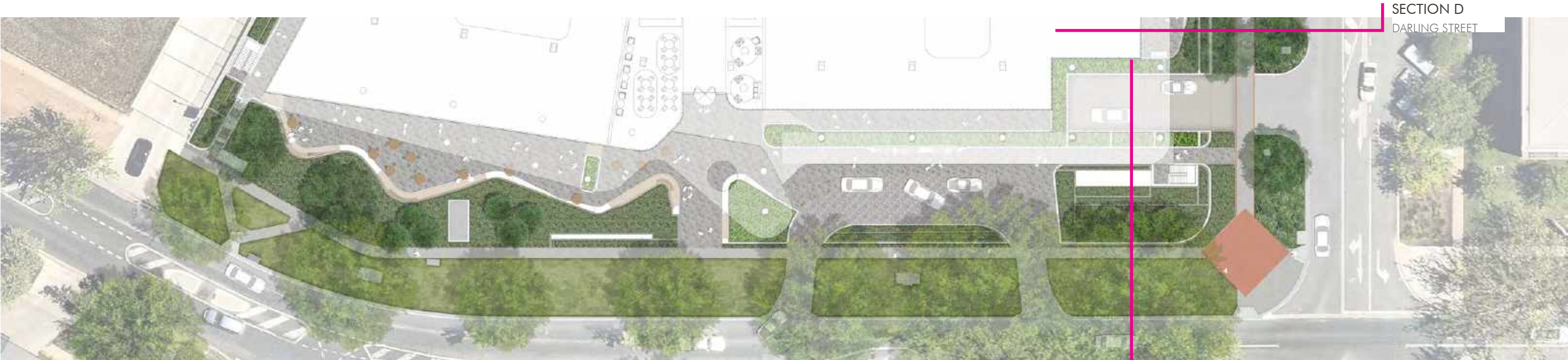
SECTION A
PRIVATE TERRACE



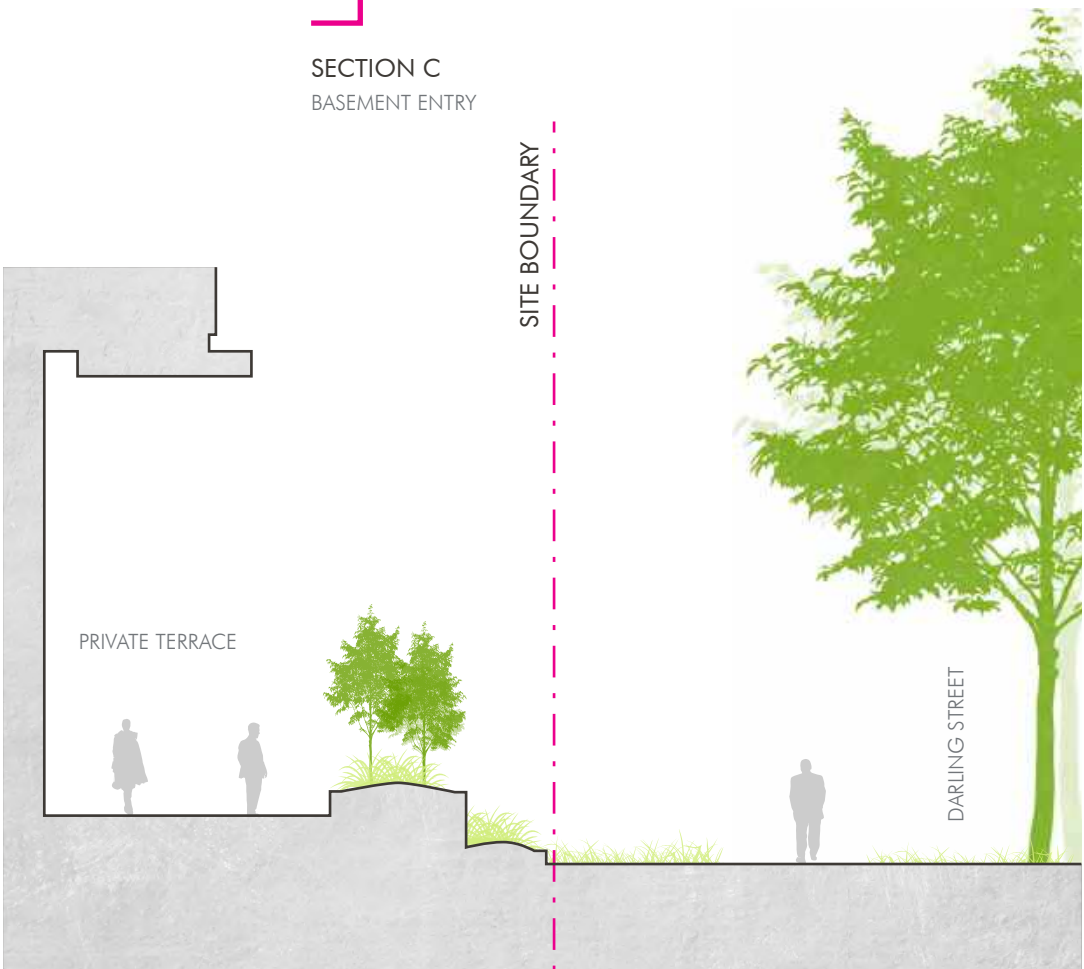
SECTION B
DROP OFF AREA

03 Landscape Response

Street Interfaces



SECTION C
BASEMENT ENTRY



SECTION D
DARLING STREET

03 Landscape Response

Existing Trees Outside Boundary



EXISTING STREET TREE TO BE RETAINED.

Note from landscape architect:
“The tree is presently surrounded by pavement extending close to the trunk, meaning the portion of new driveway closest to the tree will effectively be replacing the lifted pavement, meaning cut into the roof zone should be minimal”

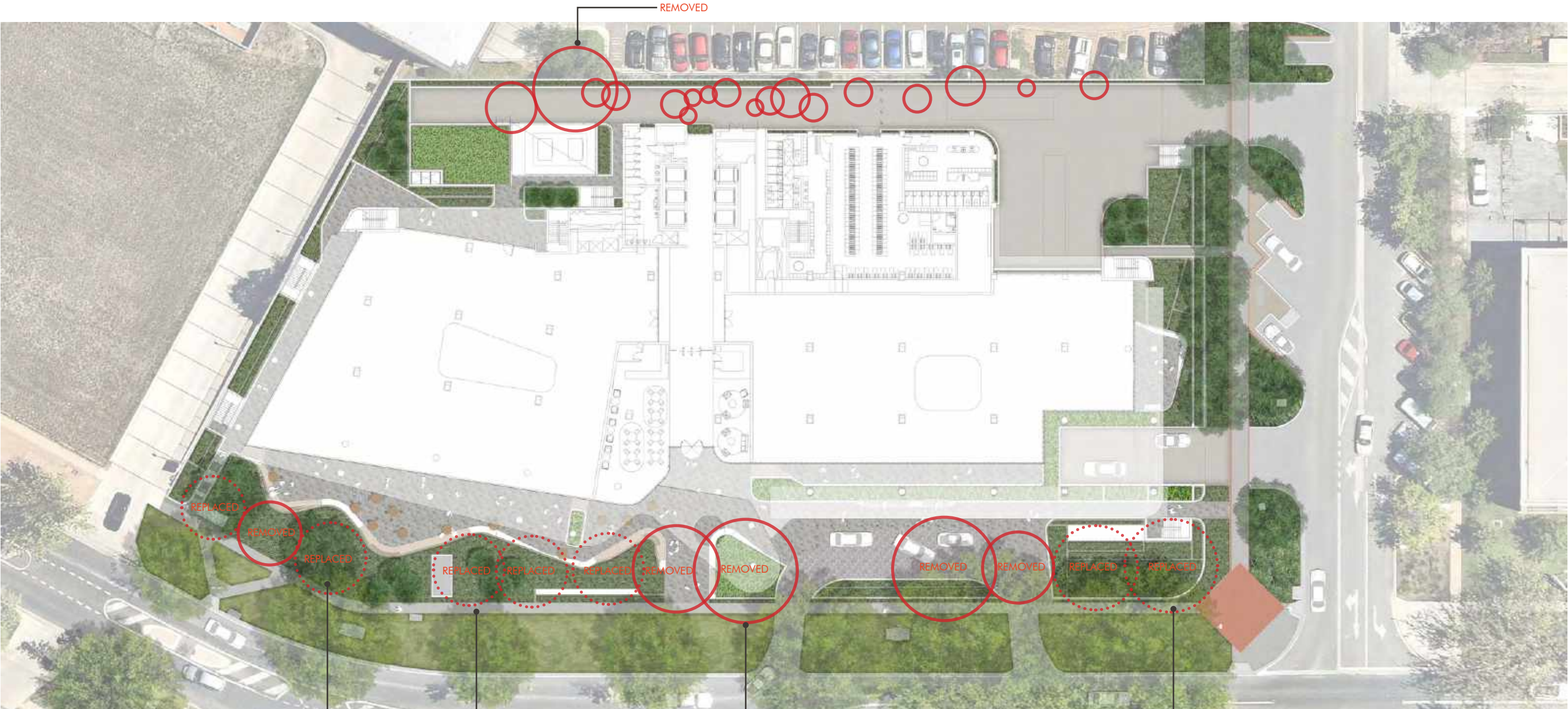


EXISTING TREES OUTSIDE PROPERTY BOUNDARY TO BE REMOVED. REFER TO LANDSCAPE ARCHITECT DRAWINGS 1574_101 AND 1574_121 FOR INFORMATION

EXISTING TREES OUTSIDE PROPERTY BOUNDARY TO BE REPLACED WITH NEW TREES. REFER TO LANDSCAPE ARCHITECT DRAWINGS 1574_101, 1574_121 AND 1574_601 FOR INFORMATION.

03 Landscape Response

Existing Trees Within Boundary



REMOVED

REPLACED

REMOVED

REPLACED

REMOVED

REPLACED

REMOVED


REPLACED

REMOVED

REPLACED


REMOVED

REPLACED



NEW TREE


GLT *Gleditsia tricanthos* 'Shademaster'



NEW TREE

LAI *Lagerstroemia indica* 'Natchez'

EXISTING TREES INSIDE PROPERTY BOUNDARY TO BE REMOVED. REFER TO LANDSCAPE ARCHITECT DRAWINGS 1574_101 AND 1574_121 FOR INFORMATION



NEW TREE

LAI *Lagerstroemia indica* 'Natchez'

EXISTING TREES INSIDE PROPERTY BOUNDARY TO BE REPLACED WITH NEW TREES. REFER TO LANDSCAPE ARCHITECT DRAWINGS 1574_101, 1574_121 AND 1574_601 FOR INFORMATION.

03 Landscape Response

External Lighting - Refer to Electrical Drawing for Information

- NOTES:
- 1. FOR LEGEND REFER DRAWING E000.
 - 2. SUBSTATION 1500mm HORIZONTAL CLEAR TO ANY PLANTING OR TRELLIS. PADMOUNT OPEN TO SKY. OIL CONTAINMENT BUNDING AND MECHANICAL PROTECTION FOR EARTHING ELECTRODES TO EARTH MAT ON BASEMENT 2 SHALL BE PROVIDED.

VERIFIER -
JOB MANAGER: KS
DESIGNED: LR
DRAWN: EL

LEGEND

LIGHTING

- 20W, 4000K, 1000lm, 2400KPa BEGA CEILING LED LUMINAIRE, SYMMETRICAL BEAM, BLACK
- 20W, 4000K, 2700lm, 8000KPa BEGA POLE TOP SYMMETRICAL BEAM LED LUMINAIRE, ON-LY COLUMN, BLACK
- 20W, 3000K, 1000lm, 6000KPa BEGA SITE RECESSED IN GROUND WALL WASHER LED LUMINAIRE, FOR BUILDING SIGNAGE
- 30W/4W, 4000K, 3000lm/4W, LUMASCAPE LINEALUX L3 SURFACE MOUNTED LINEAR LED LUMINAIRE, BLACK, ENTRANCE AWNING LIGHTING
- 50W, 3000K, 3700lm, 6000KPa PROJECTOR SPOT BEAM LED LUMINAIRE, MOUNTED ON L1 ROOF, BEAM THROUGH PENETRATION IN GROUND FLOOR FINISH, BLACK
- 20W, 4000K, 4100lm, 2240KPa BEGA WALL MOUNTED WALL WASHER ASYMMETRICAL BEAM LED LUMINAIRE, BLACK

THIS LIGHTING DESIGN MEETS THE REQUIREMENTS OF CATEGORY PP3 IN ACCORDANCE WITH AS/NZS1158.3.1:2020 - LIGHTING FOR ROADS AND PUBLIC SPACES.

THIS LIGHTING DESIGN COMPLIES WITH THE REQUIREMENTS OF AS/NZS4282:2019 - CONTROL OF THE OBTRUSIVE EFFECTS OF OUTDOOR LIGHTING, AS WELL AS THE ACT CRIME PREVENTION AND URBAN RESOURCE MANUAL.

NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE
1	WORKS APPROVAL	EL		LR	05.12.2019
2	WORKS APPROVAL	EL		LR	04.09.20

CLIENT
CROMWELL PROPERTY GROUP

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ARCHITECT
NETTLETON TRIBE

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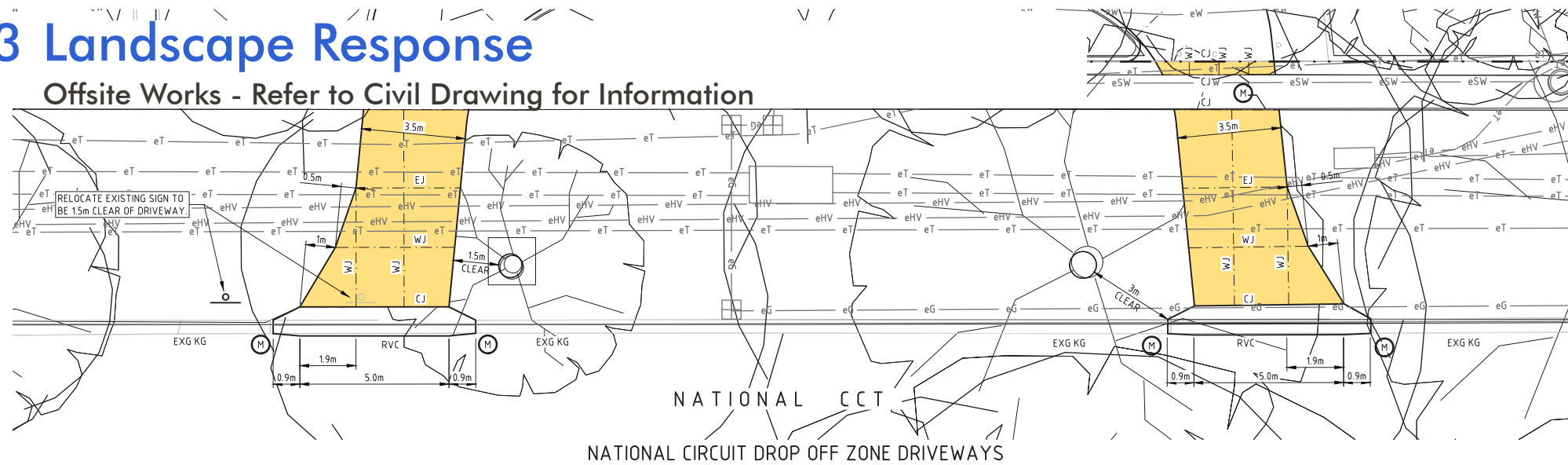
PROJECT
19 NATIONAL CIRCUIT
BLOCK 5, SECTION 22
BARTON

DRAWING TITLE
ELECTRICAL SERVICES
SITE PLAN

JOB NUMBER CR192316	REVISION 2
DRAWING NUMBER E002	
DRAWING SHEET SIZE = A1	

03 Landscape Response

Offsite Works - Refer to Civil Drawing for Information



- ### LEGEND



DRIVEWAY TYPE 1
150mm N32 CONCRETE
1 LAYER SL82 - 50 TOP
FINISH AS PER LANDSCAPE ARCHITECTS SPECIFICATION
100mm DGB20 COMPACTED TO 98% MMDD
SUBGRADE COMPACTED TO 95% MMDD



DRIVEWAY TYPE 2 / ROAD REINSTATEMENT
30mm FGGA 10mm, 50, 320 BITUMEN WEARING COURSE
PRIME
120mm DGB20 COMPACTED TO 98% MMDD
100mm DGB20 COMPACTED TO 95% MMDD
150mm DGS20 COMPACTED TO 95% MMDD
SUBGRADE COMPACTED TO 95% MMDD



DRIVEWAY TYPE 3
150mm N32 CONCRETE
2 LAYERS SL82 - 50 TOP AND BOTTOM
FINISH AS PER LANDSCAPE ARCHITECTS SPECIFICATION
100mm DGB20 COMPACTED TO 98% MMDD
SUBGRADE COMPACTED TO 95% MMDD



TREE TO BE REMOVED -
REFER LANDSCAPE ARCHITECTS SPECIFICATION

— . — . CJ . — . —

CONSTRUCTION JOINT AS PER TCCS STDS

WJ

WEAKENED PLANE JOINT AS PER TCCS STDS

FJ

EXPANSION JOINT AS PER TCCS STDS

M

MATCH TO EXISTING

RVC

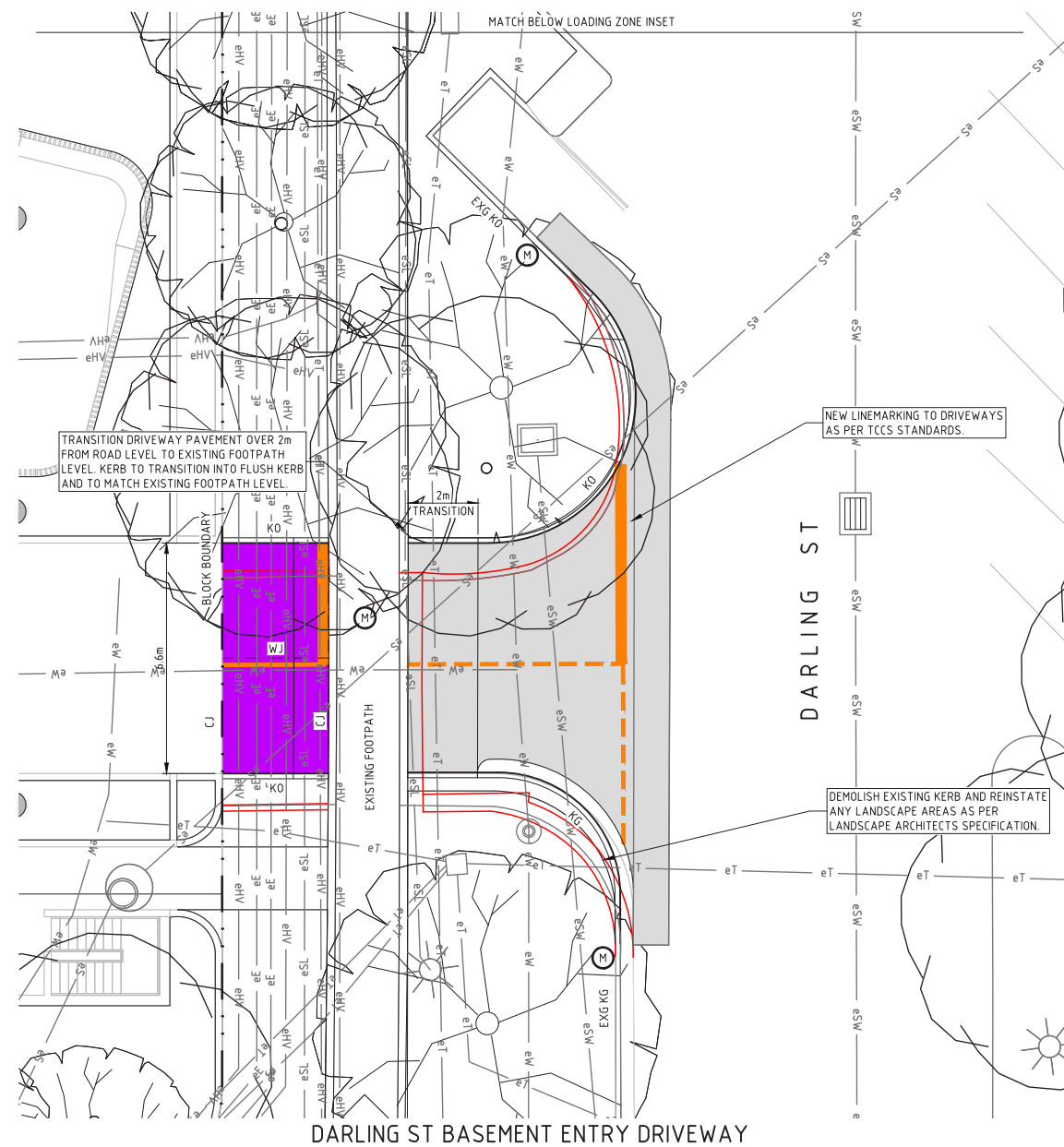
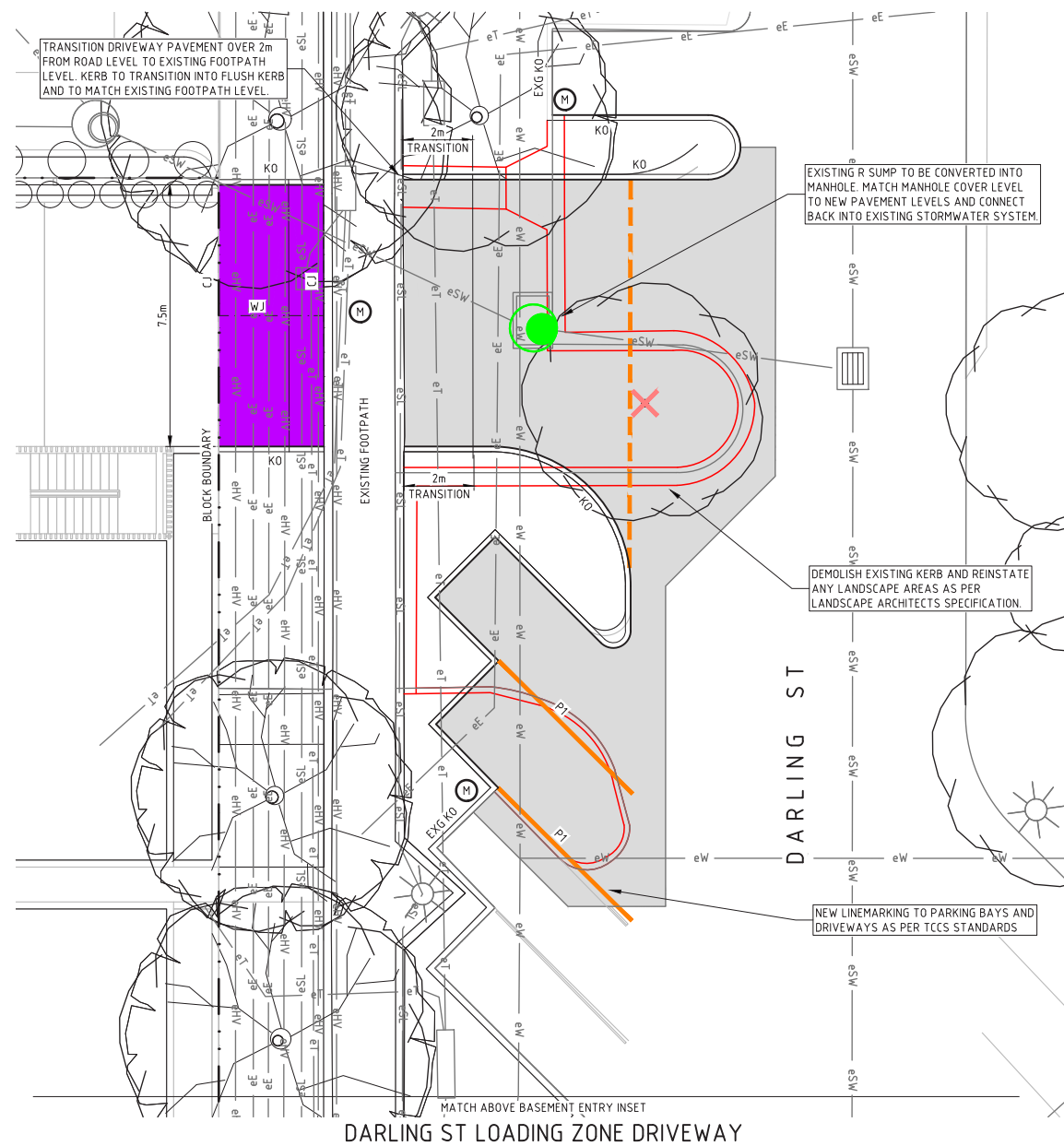
REINFORCED VEHICLE CROSSING AS PER TCCS STDS

KO




KERB ONLY AS PER TCCS STDS

KG

Kerb and gutter as per TCCS STDs



NOT FOR CONSTRUCTION

REVISION		DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT	ARCHITECT	<div><div></div><div>Canberra Level 6, 224 Bunda Street (PO Box 213) Canberra ACT 2608 Ph (02) 6285 1822 Fax (02) 6285 1863 Email canberra@northrop.com.au ABN 81 094 433 100</div></div>		PROJECT	DRAWING TITLE		JOB NUMBER	
1		WORKS APPROVAL	JC		WB	11.12.19	CROMWELL PROPERTY GROUP	NETTLETON TRIBE	<div><div></div><div>Canberra Level 6, 224 Bunda Street (PO Box 213) Canberra ACT 2608 Ph (02) 6285 1822 Fax (02) 6285 1863 Email canberra@northrop.com.au ABN 81 094 433 100</div></div>	19 NATIONAL CIRCUIT	BLOCK 5, SECTION 22	CIVIL WORKS OFFSITE WORKS PLAN	BARTON	CR192316	
2		WORKS APPROVAL (v2)	JC		WB	04.09.20								DRAWING NUMBER	REVISION
														C130	2
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04

BUILDING SETBACK

04 Building Setback

Response to Objectives

DEVELOPMENT CRITERIA

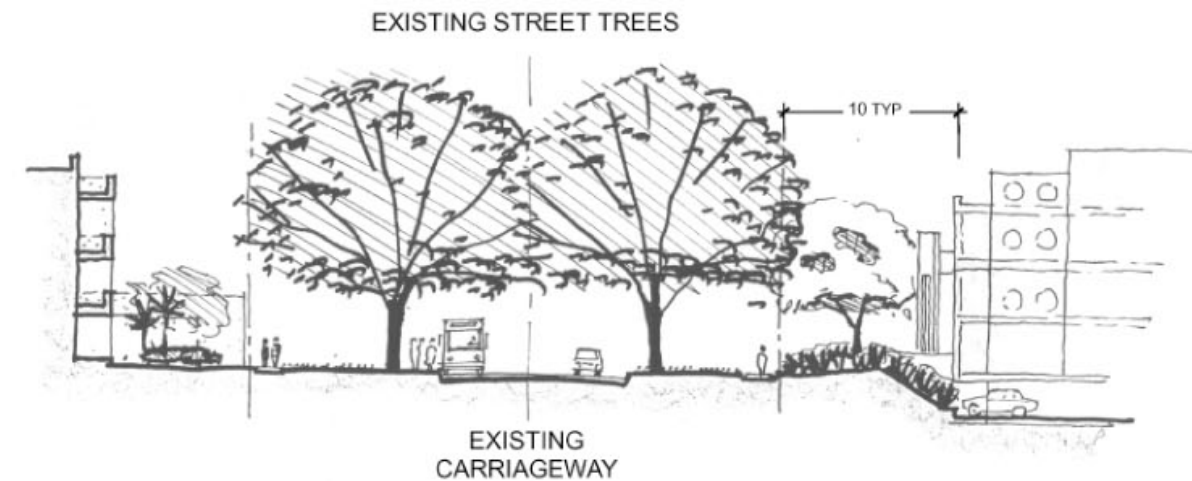
- 10m setback from National Circuit prescribed in Figure 19 Barton Precinct Code of the National Capital Plan.

RESPONSE TO OBJECTIVES

- To deliver prestigious building in a generous landscape setting.
- To provide a facade that moves in and out of the setback line creating an architectural outcome representative of a landmark building.

DESIGN RESPONSE

- Setback encroachment to with consistent to both existing and approved buildings along National Circuit and Darling Street.
- Stepped facade within immersive landscape setting and generous public domain.
- The limited and changing extent of the encroachment whilst maintaining a superior outcome in design, further aligning with the intent of the Barton Precinct Plan and York Park area, delivering prestigious buildings in a landscape setting.

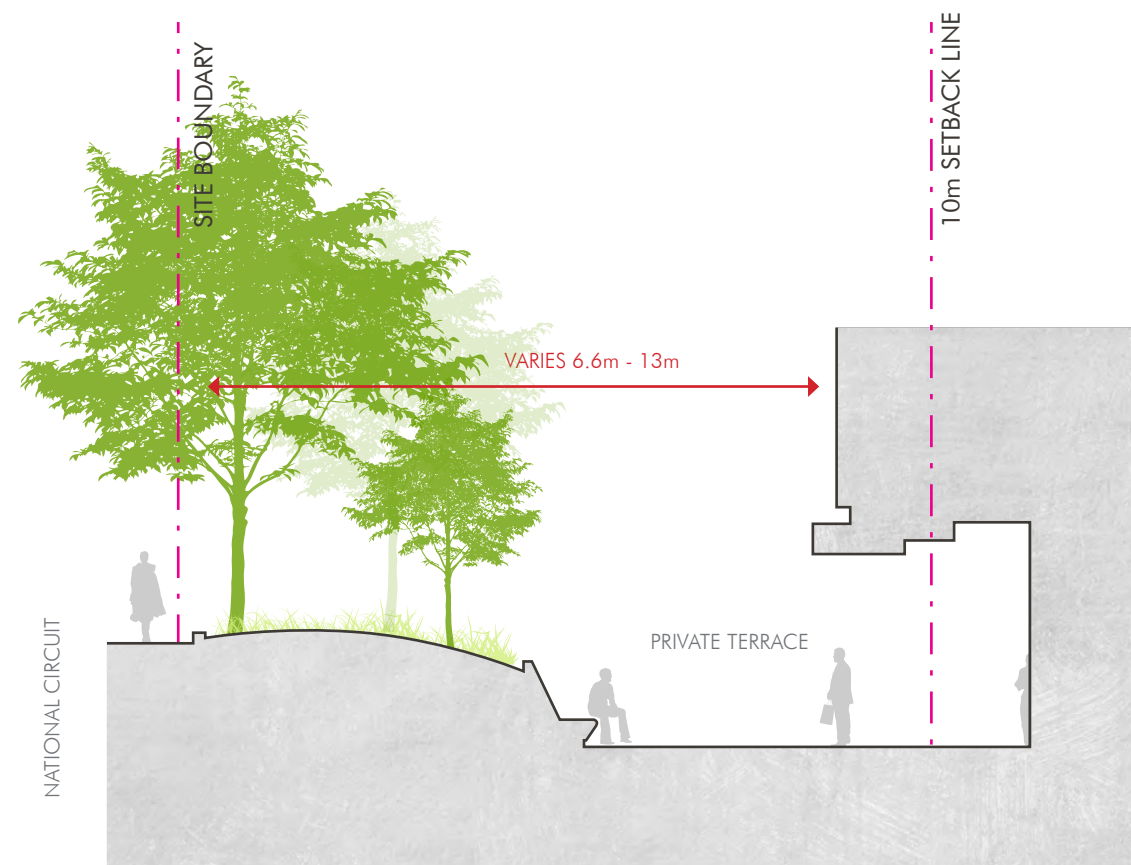


MAINTAIN NATIONAL CIRCUIT AS A HIGH QUALITY AVENUE WITH LARGE STREET TREES AND GRASS VERGES:

PROVIDE A 10m LANDSCAPED SETBACK TO PRIMARY BUILDING LINE

MINOR ARTICULATION ELEMENTS (PORT COCHERES, BALCONIES, ETC) ARE PERMITTED IN SETBACK

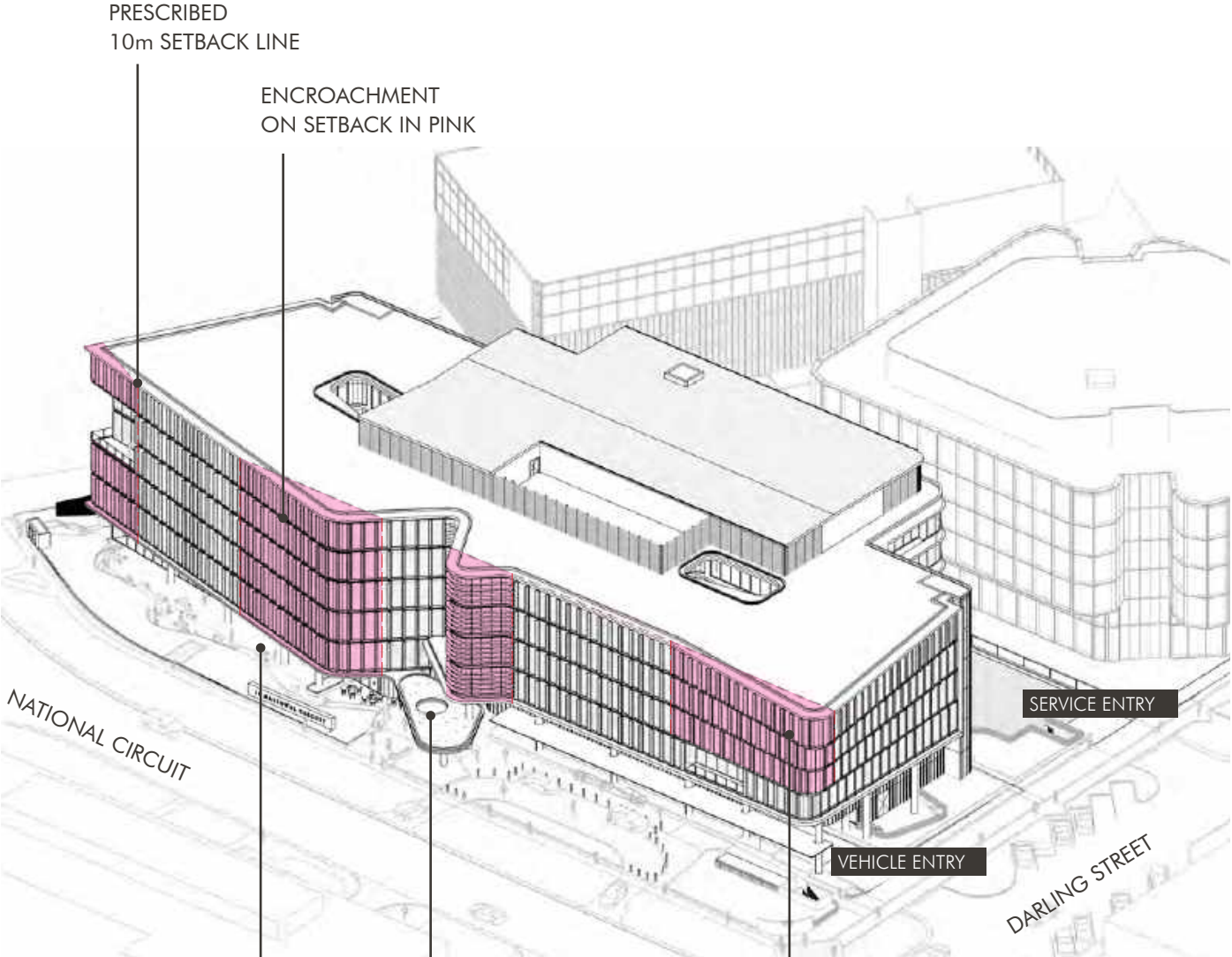
BASEMENT PARKING TO BE CONCEALED FROM STREET



SECTION A
PRIVATE TERRACE

04 Building Setback

Design Response



DESIGN RESPONSE



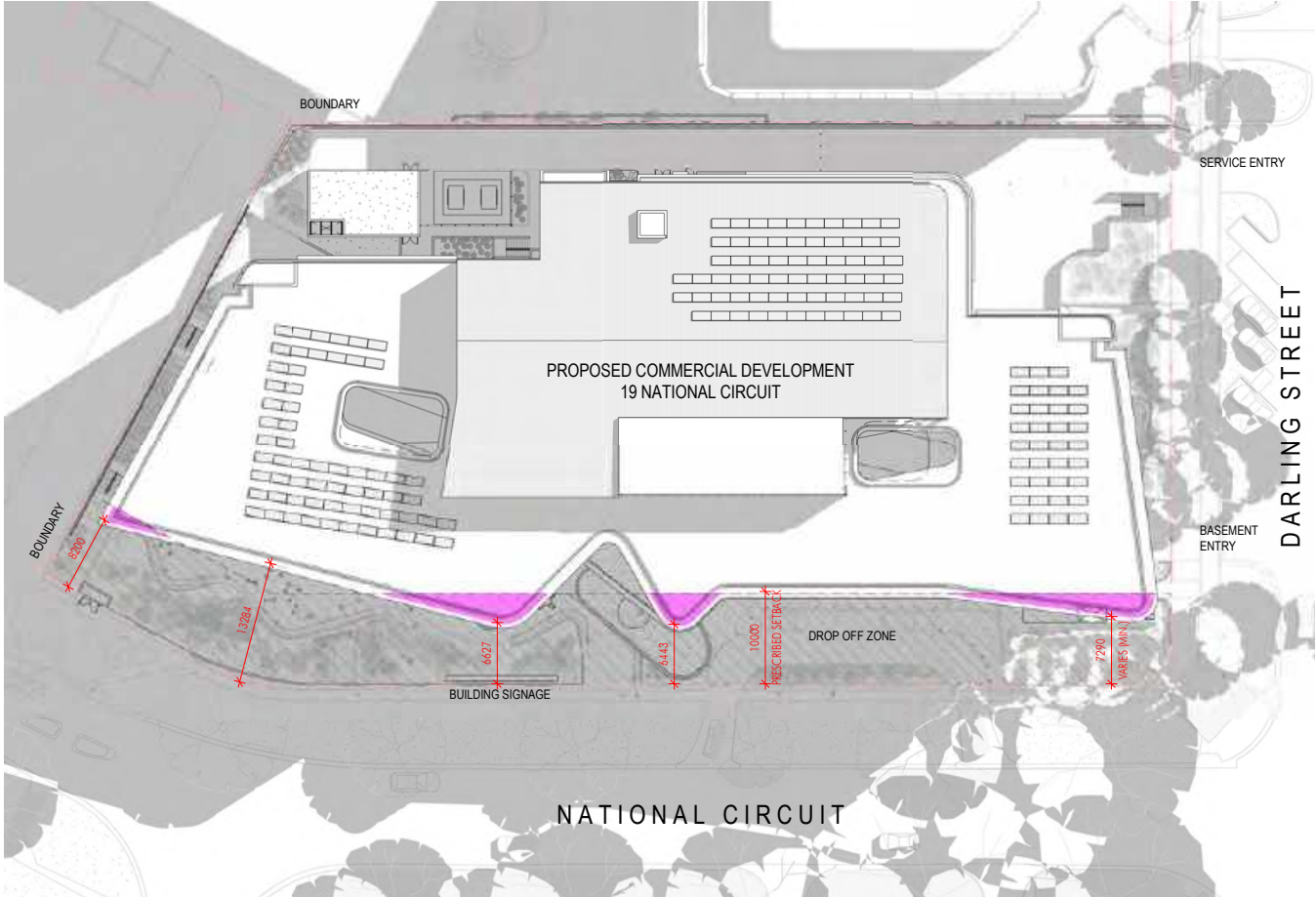
UNDERCROFT SEATING AND
HIGH QUALITY LANDSCAPE



BUILDING ENTRY AND
CAFE SEATING



ARTICULATED CORNER

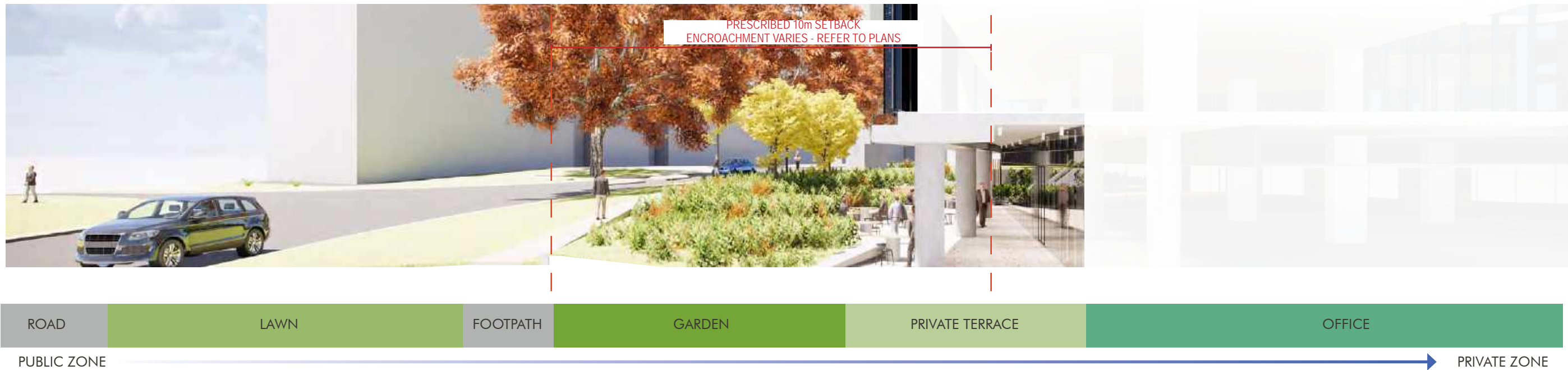


SITE PLAN - Setback measured to Level 5 glazing line

The proposed design has increased setback to the Southern portion of the National Circuit facade. Generally, for the Southern component, there are small portions of the facade that encroach the 10m setback but equally there are portions of the facade that extend far further than the 10m requirement. This design response provides a landmark building outcome.

04 Building Setback

Undercroft Seating and High Quality Landscape



SECTIONAL PERSPECTIVE
STREET INTERFACE



PERSPECTIVE VIEW
PRIVATE TERRACE

The landscaped public realm extends along the full frontage along National Circuit and extends under Level 1. The width of this public realm extends from 10.9m to 15.8m for the Southern wing and for the Northern wing it extends further distance to 15.9m.

These extended distances increase the dimension of the landscaped zone.



05

BUILDING HEIGHT

05 Building Height

Response to Objectives

DEVELOPMENT CRITERIA

A building height limit of RL 591 generally applies to the Barton area. This level corresponds with the parapet walls at all four corners of Parliament Drive and establishes an appropriate limit in terms of creating and maintaining built form relationships to Parliament House when seen from vantage points in and around the Central National Area.

Minor building elements (such as lift overruns and roof plant) that extend building height above RL 591 will be considered where this enhances the architectural quality of the building, and foster energy efficiency, indoor amenity, appropriate urban scale and adds visual interest to the Skyline. Minor building elements should be carefully integrated within the form of buildings.

RESPONSE TO OBJECTIVES

- The plant room enclosure has been positioned at the rear (West) of the building away from national Circuit so that this built structure does not add to the apparent building bulk.
- What this means for the project is that the overall perceived height has been significantly reduced.

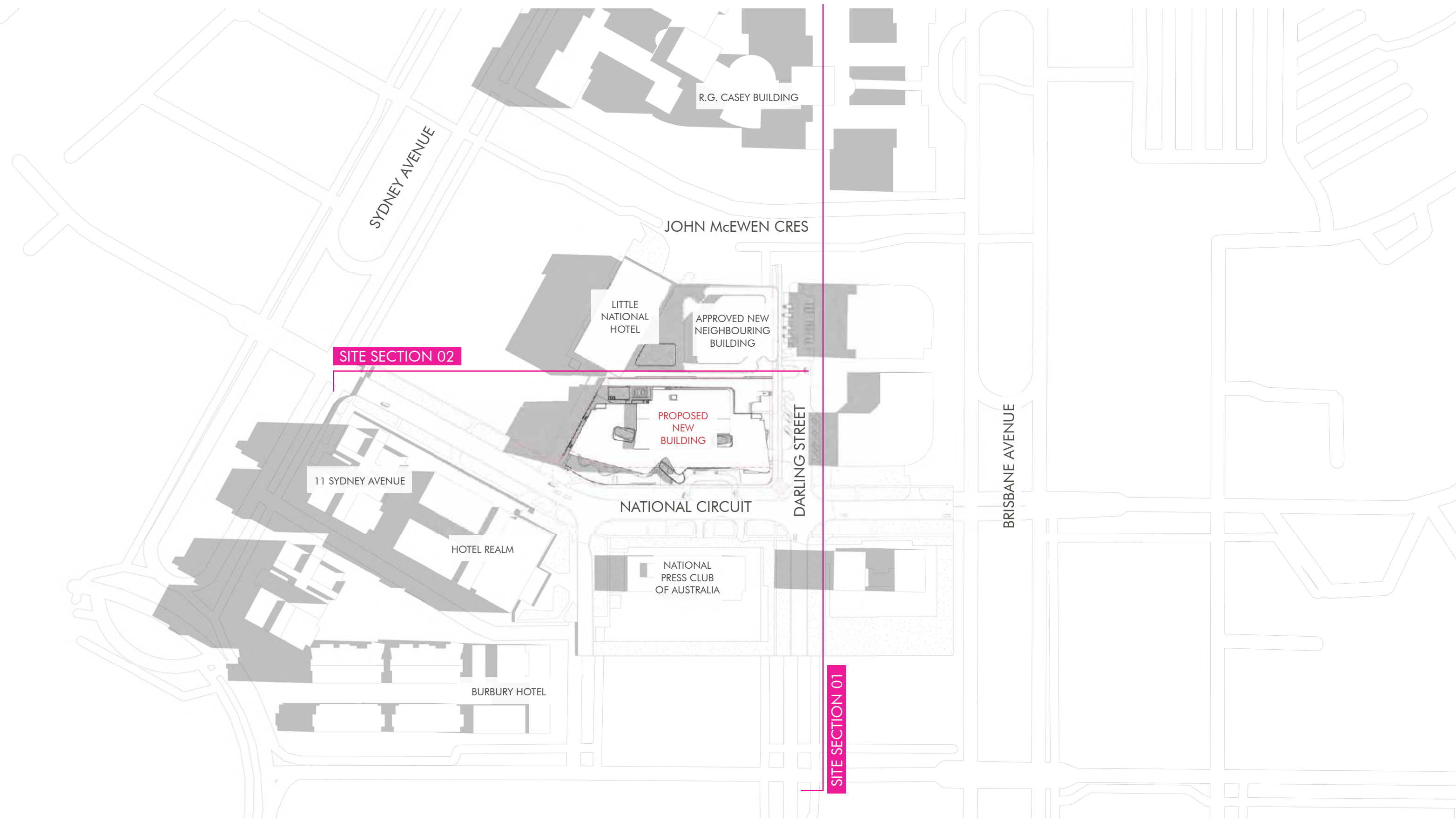
DESIGN RESPONSE

- The roof plant level is RL 591.250.
- The roof parapet level is RL 591.500.
- The peak of plant roof is RL 595.500.
- When viewing the render below, it demonstrates that our roof levels is comparable to the roofs of the “Little National Hotel” and the adjoining approved office building at 2 Darling St.



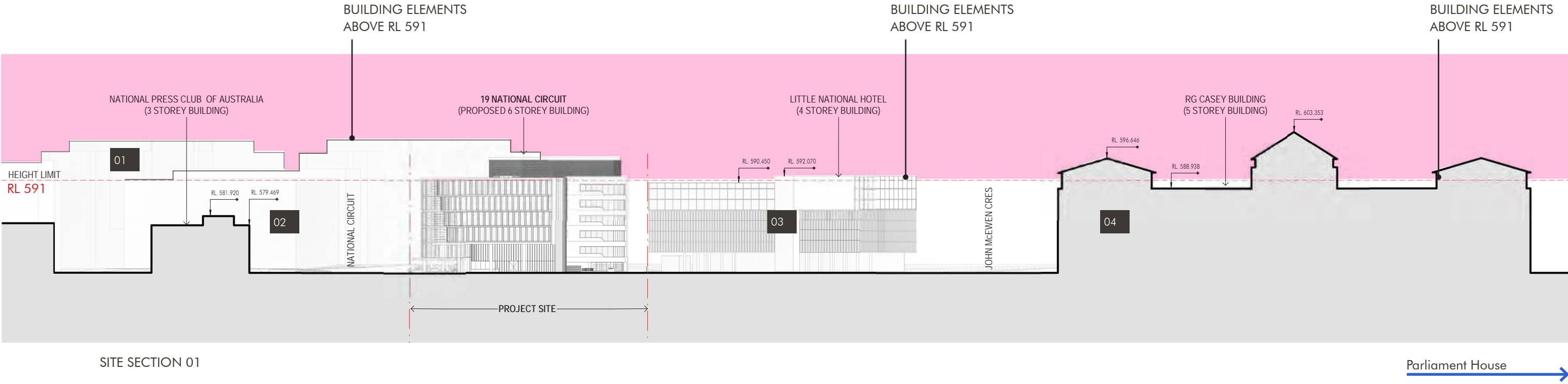
05 Building Height

Site Context Plan



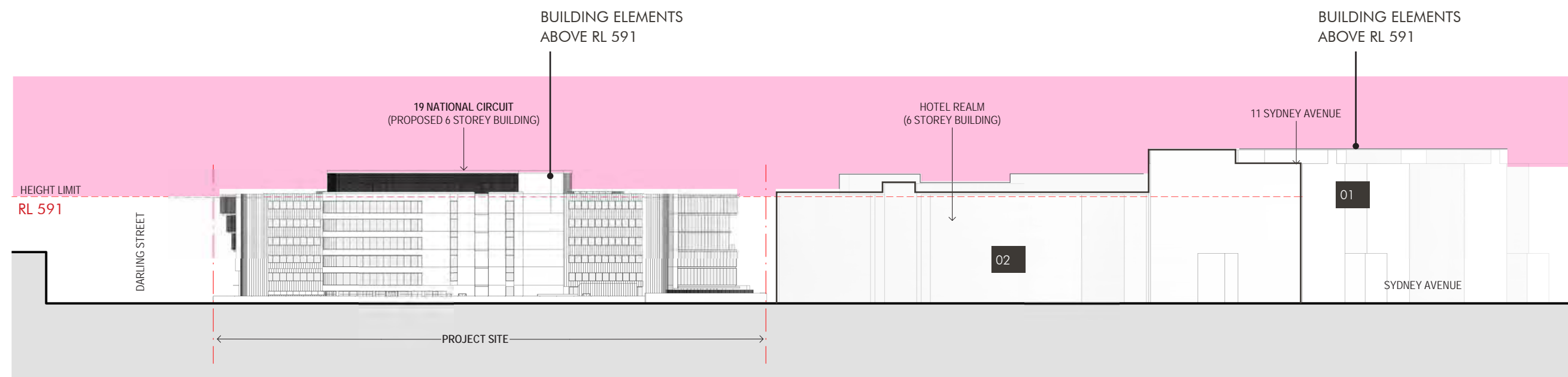
05 Building Height

Site Section 01



05 Building Height

Site Section 02



SITE SECTION 02



01 11 SYDNEY AVENUE PRECINCT



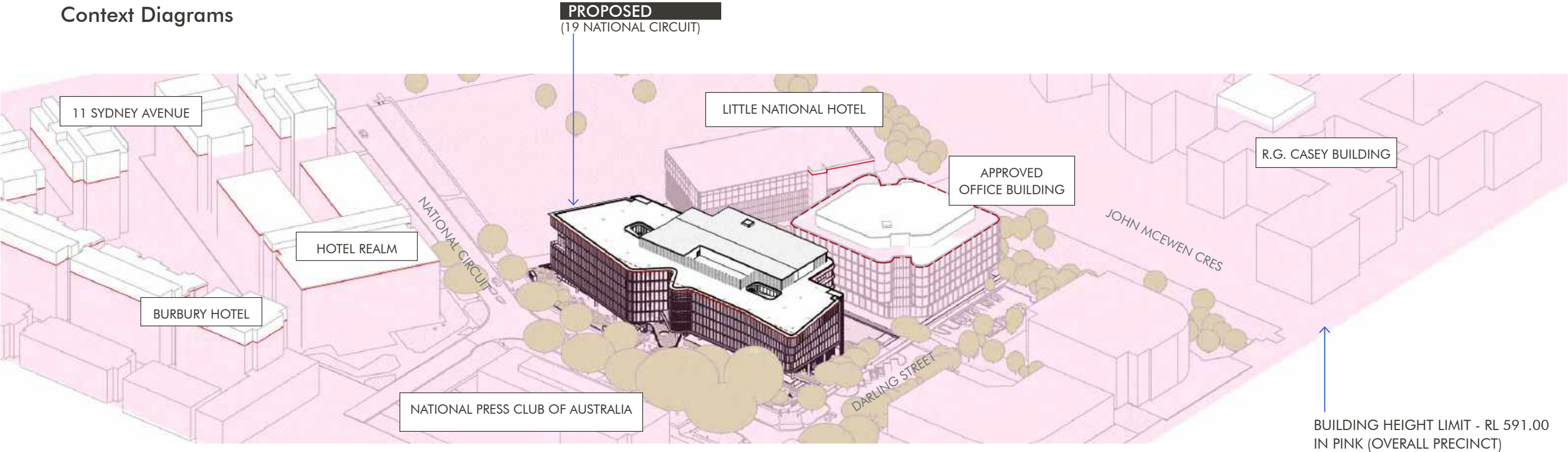
02 HOTEL REALM



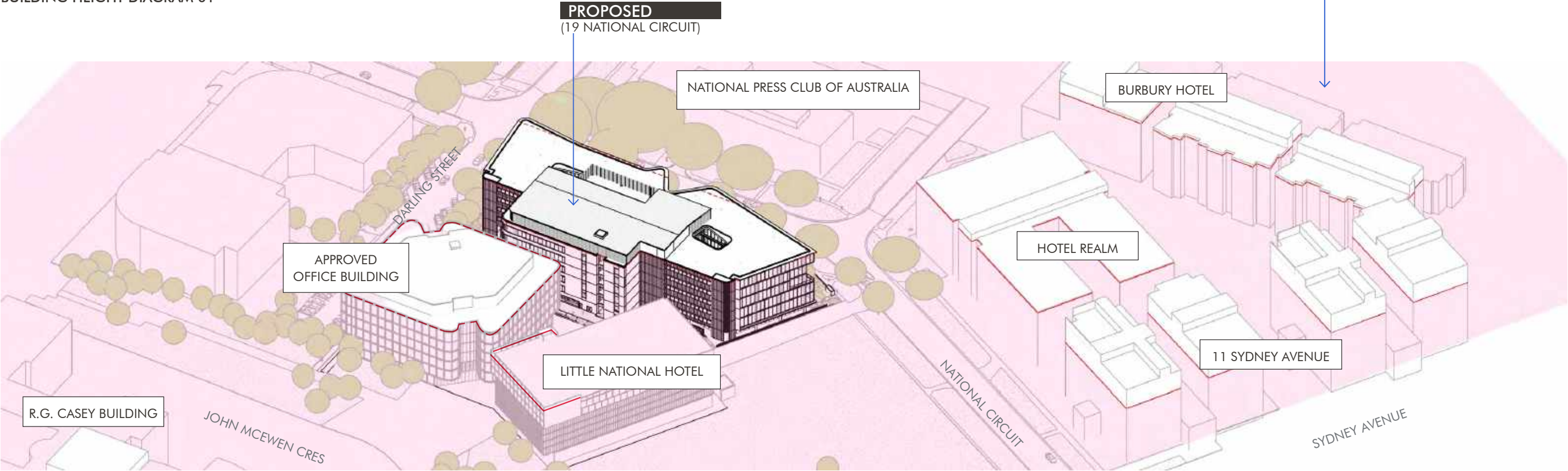
PROPOSED OFFICE BUILDING

05 Building Height

Context Diagrams



BUILDING HEIGHT DIAGRAM 01



BUILDING HEIGHT DIAGRAM 02

The proposed built form is consistent with the existing building masses. In terms of the building height and roof plant, this proposed does not impact the sight-lines from Parliament House.

05 Building Height

View from Parliament House



VIEW FROM PARLIAMENT HOUSE - EXISTING



VIEW FROM PARLIAMENT HOUSE - PROPOSED 6 STOREY BUILDING

05 Building Height

Elevated View to Parliament House



ELEVATED VIEW TOWARDS PARLIAMENT HOUSE - PROPOSED 6 STOREY BUILDING



06

VISUAL AMENITY

06 Visual Amenity

Ground Plane Overview



BARTON PRECINCT SECTION 22 GROUND PLAN - NOT TO SCALE

LITTLE NATIONAL HOTEL



APPROVED 6 STOREY OFFICE BUILDING BY OTHER



SERVICE ROADS

PROPOSED 6 STOREY OFFICE BUILDING

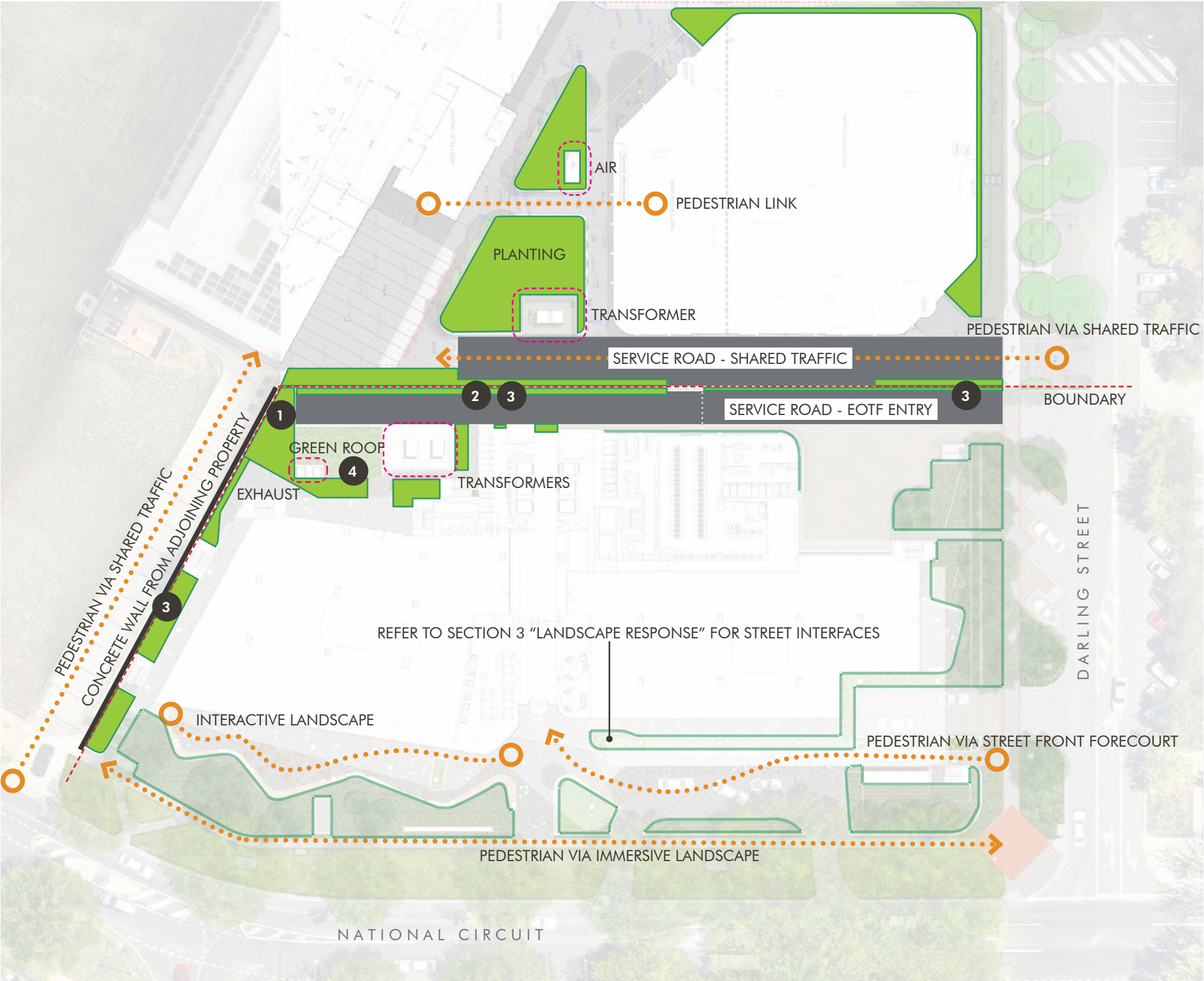


EXISTING BOUNDARY CONDITION - LNH



06 Visual Amenity

Ground Plane Analysis



BARTON PRECINCT SECTION 22 GROUND PLAN - NOT TO SCALE

PROPOSED BOUNDARY LANDSCAPING



PLANTING 01
5x "TEDDY BEAR"



PLANTING 02
BAMBOO



PLANTING 03
GREEN WALL



PLANTING 04
GREEN ROOF

NOTE
Adjoining properties landscape design based on "Landscape Drawings.pdf" on NCA's Public Consultation for "Block 14, Section 22, Barton" (<https://www.nca.gov.au/consultation/block-14-section-22-barton-construction-multi-storey-commercial-building>), Accessed August 2020.

06 Visual Amenity

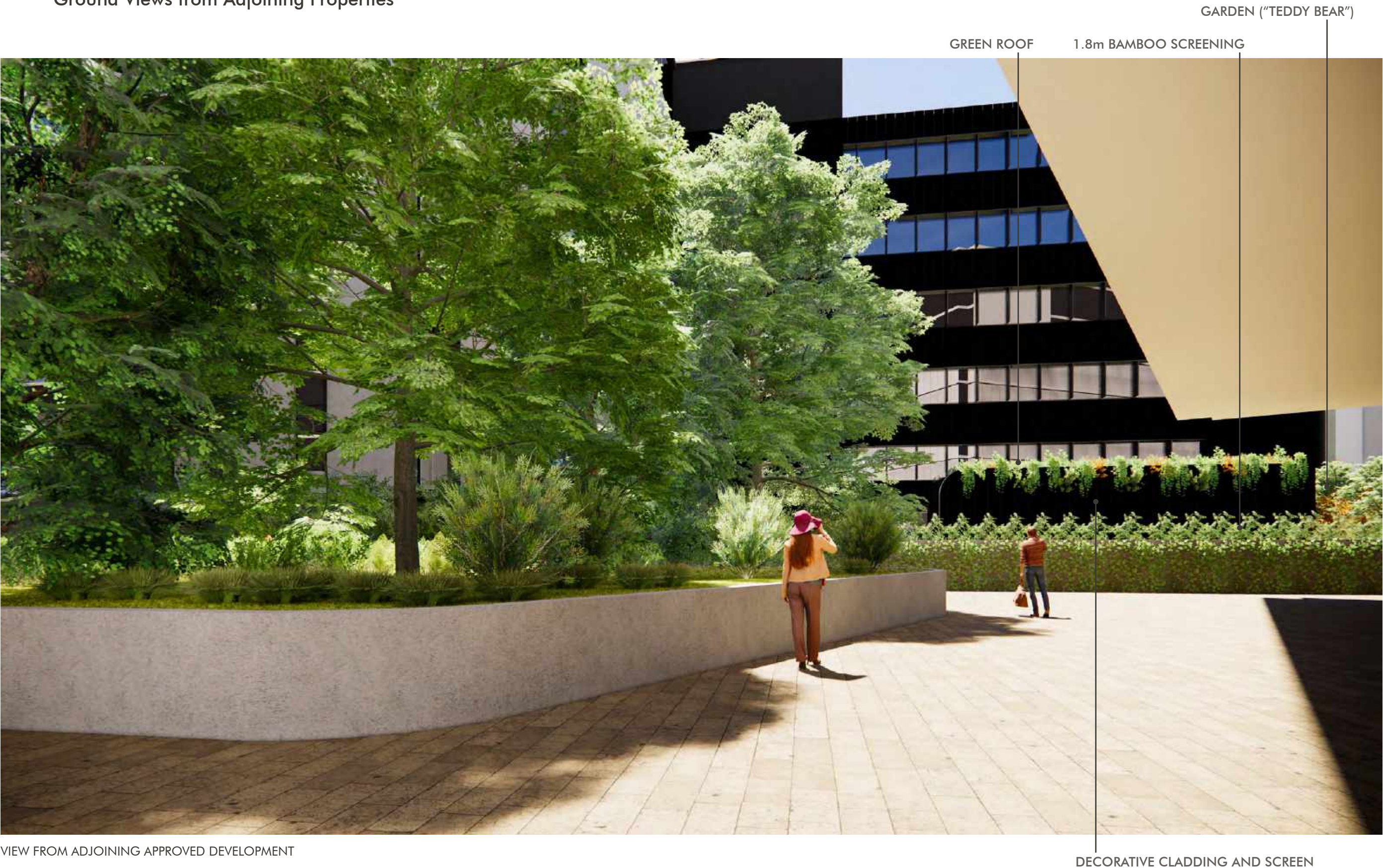
Western Boundary Landscaping



VIEW TO WESTERN BOUNDARY WALL

06 Visual Amenity

Ground Views from Adjoining Properties

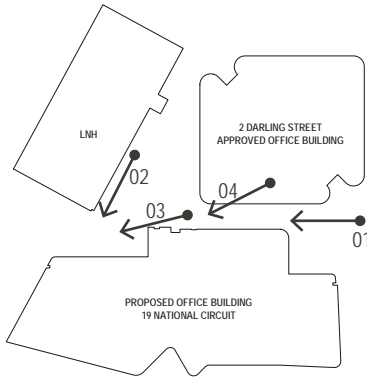


VIEW FROM ADJOINING APPROVED DEVELOPMENT

DECORATIVE CLADDING AND SCREEN

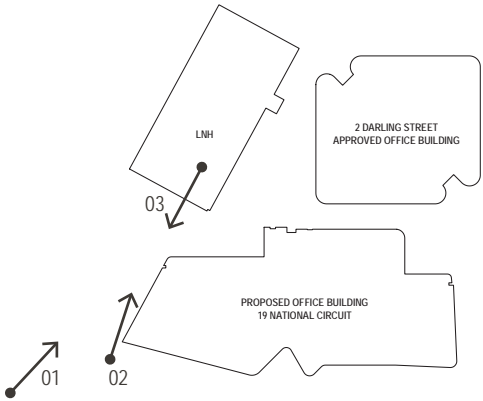
06 Visual Amenity

Perspectives - Western Boundary



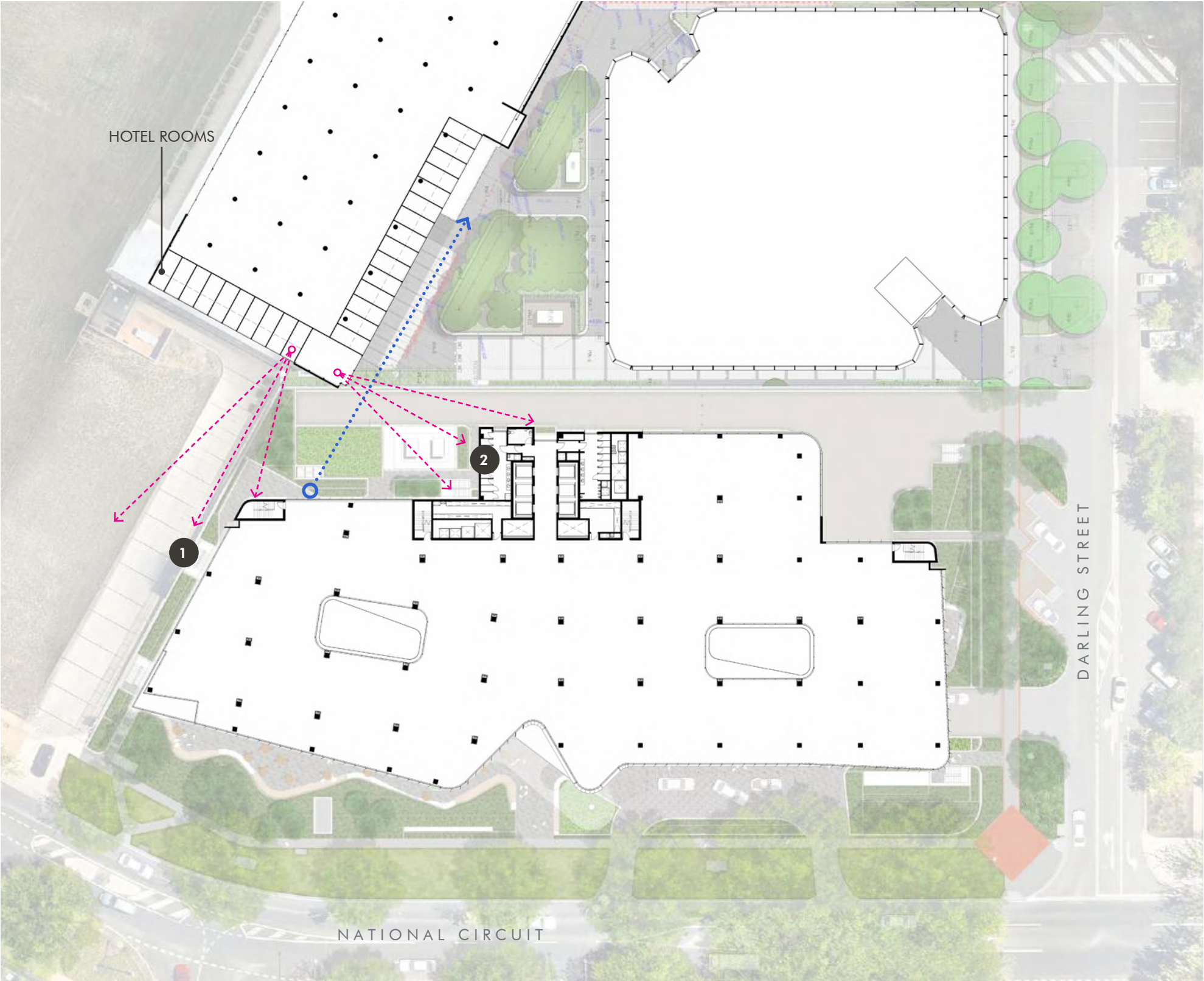
06 Visual Amenity

Perspectives - Southern Boundary



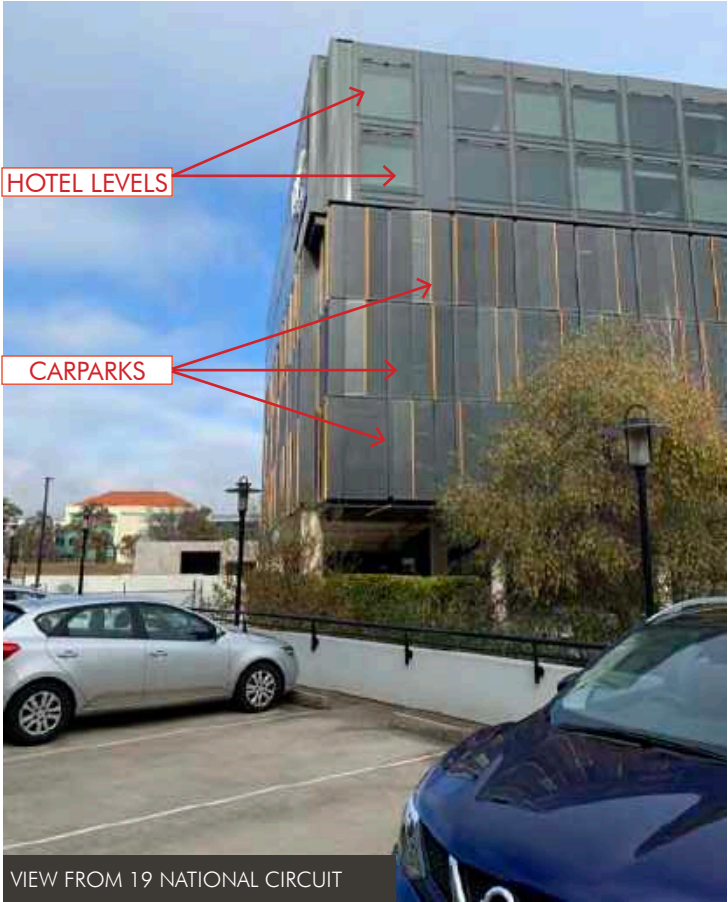
06 Visual Amenity

Sight Lines Analysis



BARTON PRECINCT SECTION 22 TYPICAL LEVEL PLAN - NOT TO SCALE

LITTLE NATIONAL HOTEL



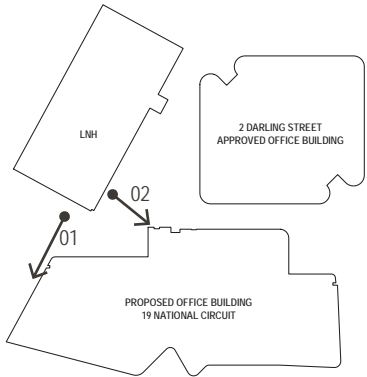
VIEW LINES FROM HOTEL ROOMS

- 1. View from LNH to Hotel Realm
- 2. View from LNH to Existing Carpark and Building

(Refer to next page for images)

06 Visual Amenity

Existing Condition



06 Visual Amenity

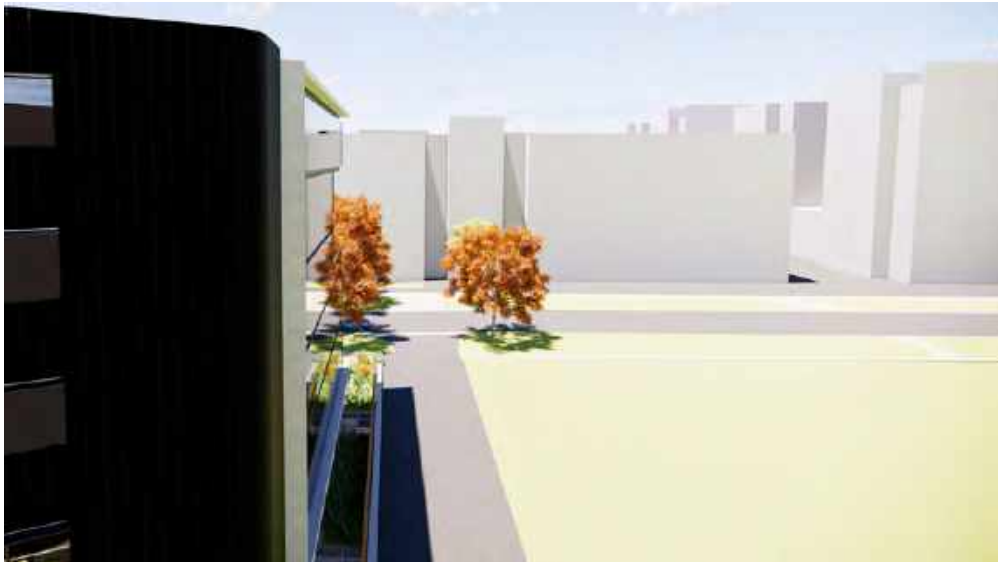
Proposed Development



VIEWLINE 01 - LOOK OUT HORIZONTALLY



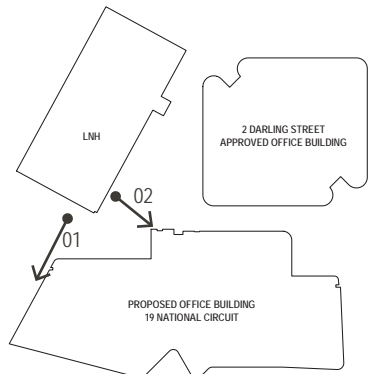
VIEWLINE 01 - LOOK DOWN AT GLAZING LINE



VIEWLINE 02 - LOOK OUT HORIZONTALLY TO HOTEL REALM



VIEWLINE 02 - LOOK DOWN AT GLAZING LINE

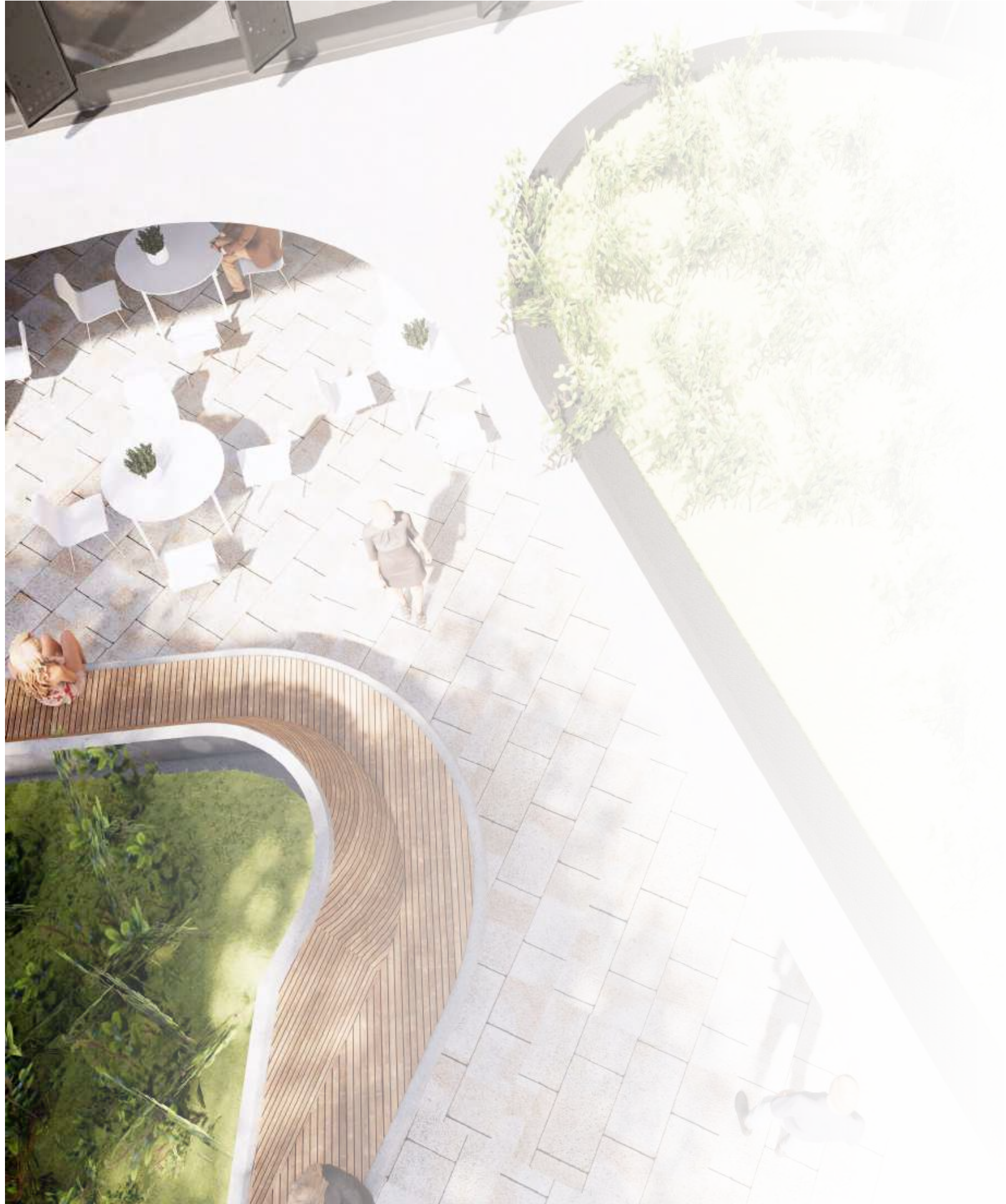


06 Visual Amenity

View to Overall Precinct (Section 22) from South East



ELEVATED VIEW FROM ROOF TOP OF HOTEL REALM



07

IMAGERY

06 Imagery

Perspective View from Cnr National Circuit and Darling Street



06 Imagery

View of North Wing to National Circuit



06 Imagery

Perspective Views of Eastern Façade along National Circuit

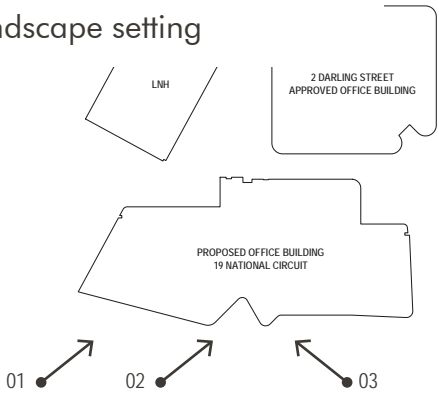


BUILDING FORM

The building form is contemporary with deep recesses, large overhangs, outdoor balcony areas, and shaded windows. The form steps in and out, providing an articulated, timeless façade. The materiality is corporate whilst timeless with the use of dark grey tinted glass, metal screening used for sun-protection and timber for warmth along the pedestrian zone.

The architecture has a striking appearance with the use of an angular screen to the north to distinguish against the adjacent building along Darling Street. The lobby entry is curvaceous in nature with stepped greenery up the façade.

- 01 view of south-east corner from national circuit
- 02 ground landscaping and green awning above building entry
- 03 building entry and public realm in rich landscape setting



06 Imagery

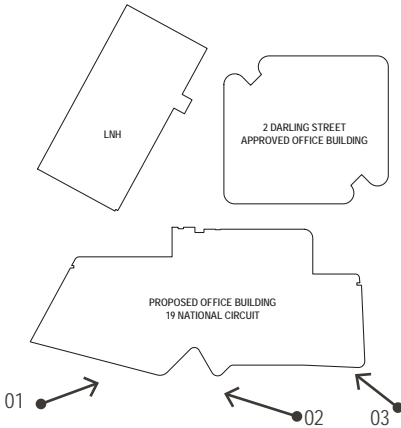
Elevated Views of Eastern Façade along National Circuit



SHADING

The Northern façade features pivoted, articulated slabs with vertical sun-shading devices. To the East, vertical sun-shading devices protect the building from the early sun.

- 01 elevated view to south wing along national circuit
- 02 elevated view to south along national circuit
- 03 elevated view to north east corner

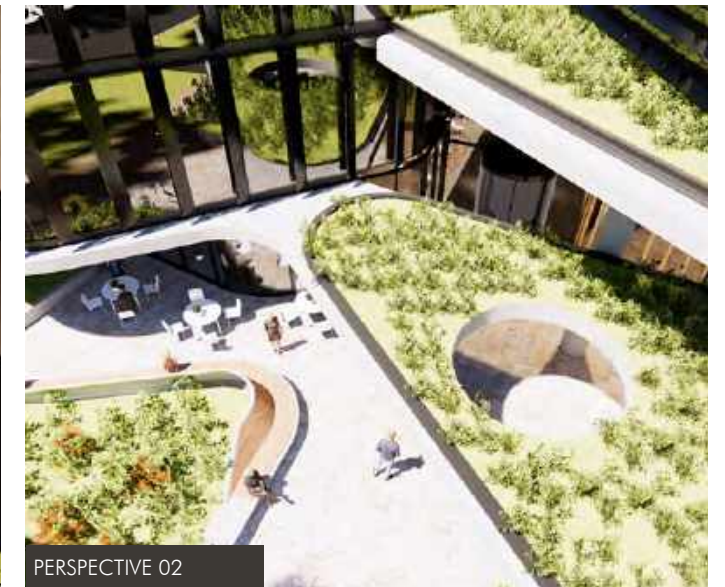


06 Imagery

Views to Building Entry and Green Awning



PERSPECTIVE 01



PERSPECTIVE 02

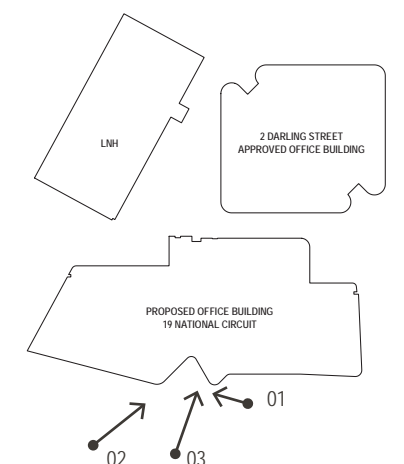


PERSPECTIVE 03

BUILDING ENTRY

Not only do high quality landscape spaces and intensive greenery occupy much of the unbuilt setback zone, they extend well beyond 10m and into the building itself, defining spaces and paths of approach and arrival. Importantly, the cantilevered green canopies effectively multiply the landscape presence, layering garden upon garden vertically. The result is an overlap and interplay between landscape and built form, which is deliberately more fluid and lively than a strict 10m landscape zone fronting a rectilinear building.

- 01 elevated view to public realm to south wing along national circuit
- 02 terrace seating within landscape setting
- 03 outdoor seating



06 Imagery

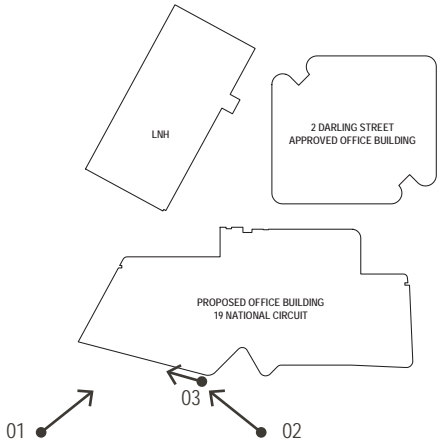
Views of Public Realm to South Wing along National Circuit



PRIVATE SEATING

The proposed landscape setback – averaging 6.5m wide adjacent the private terraces – contains diverse species and massing of varying sizes. It offers a layered, textured visual composition viewed from the terrace and upper building floors, and an unfolding visual experience for passers by. The intricacy and texture of the landscaping achieves a stronger landscape presence and streetscape character than many precedents of unremarkable mass planting extending the full 10m setback.

- 01 elevated view to public realm to south wing along national circuit
- 02 terrace seating within landscape setting
- 03 outdoor seating



06 Imagery

Boundary Landscaping

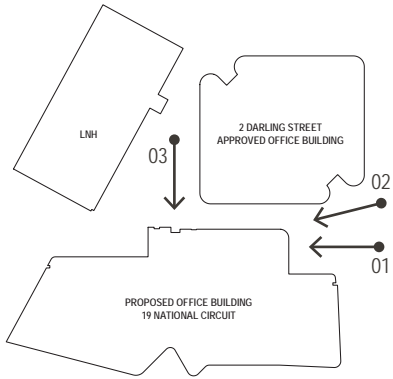


BOUNDARY LANDSCAPING

This proposed building form has an extended setback for reduced massing against the adjoining approved office building on 2 Darling Street. This also enhances light penetration for both buildings.

The green wall to the Western boundary is 1.6m high and supports the vegetation in the adjoining approved building plans.

- 01 view to darling street service entry and boundary landscaping
- 02 view to western boundary landscaping
- 03 view from approved adjoining office building



06 Imagery

Site Context



PERSPECTIVE 01



PERSPECTIVE 02



PERSPECTIVE 03

URBAN REALM

The building will be a striking building within the locale. The ground floor will be highly activated by people accessing the lobby through the forecourt - drop-off, the North or the East as the development sits on two street corners.

Pedestrian access is through a highly vegetated frontage similar to the existing. The porte-cochere sits immediately adjacent to the entry. The retail café is located at the lobby entry, maximising its exposure to

the building occupants. All servicing is via the rear of the site off the side street.

A feature void connects the cafe and lobby to the building entrance, enticing the occupants' experience and natural lighting. People can relax outdoors adjacent to the café area on the National Circuit frontage, or in the many external seating areas positioned amongst the landscape.

- 01 aerial view to proposed office building
- 02 view to proposed office building from darling street
- 03 view to approved adjoining office building from darling street

