

**DISCLAIMERS:**  
Tree canopies are shown as a circular representation only and may not reflect irregular canopies.  
The symbols used in this plan and associated digital data do not necessarily reflect the size and orientation of the object they represent.

The boundary information shown is from Acmep digital data base only. Boundaries have not been surveyed.  
Boundary information is for the purpose of this plan. Further survey and marking of boundaries may be required.


Services shown hereon have been determined from visual evidence and underground tracing by others. Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.  
Some manholes not filled due to dangerous traffic conditions.

CLIENT  
**LEIGHTON PROPERTIES**

DISCLAIMER:  
This plan is a survey and its associated digital data was prepared under instruction to meet a specification as agreed. This information should not be used or relied upon by any other party.

REVISION	DATE	ZONE

Contour Interval  
Datum A.H.D  
BM SR 1355  
RL 562.451



Unit 3  
151 Newcastle Street,  
FYSHWICK, ACT 2609

Surveyed  
Drawn  
Checked  
Approved

R.K.LIS  
S.WADE

T 02 6239 3088 F 02 6239 3089

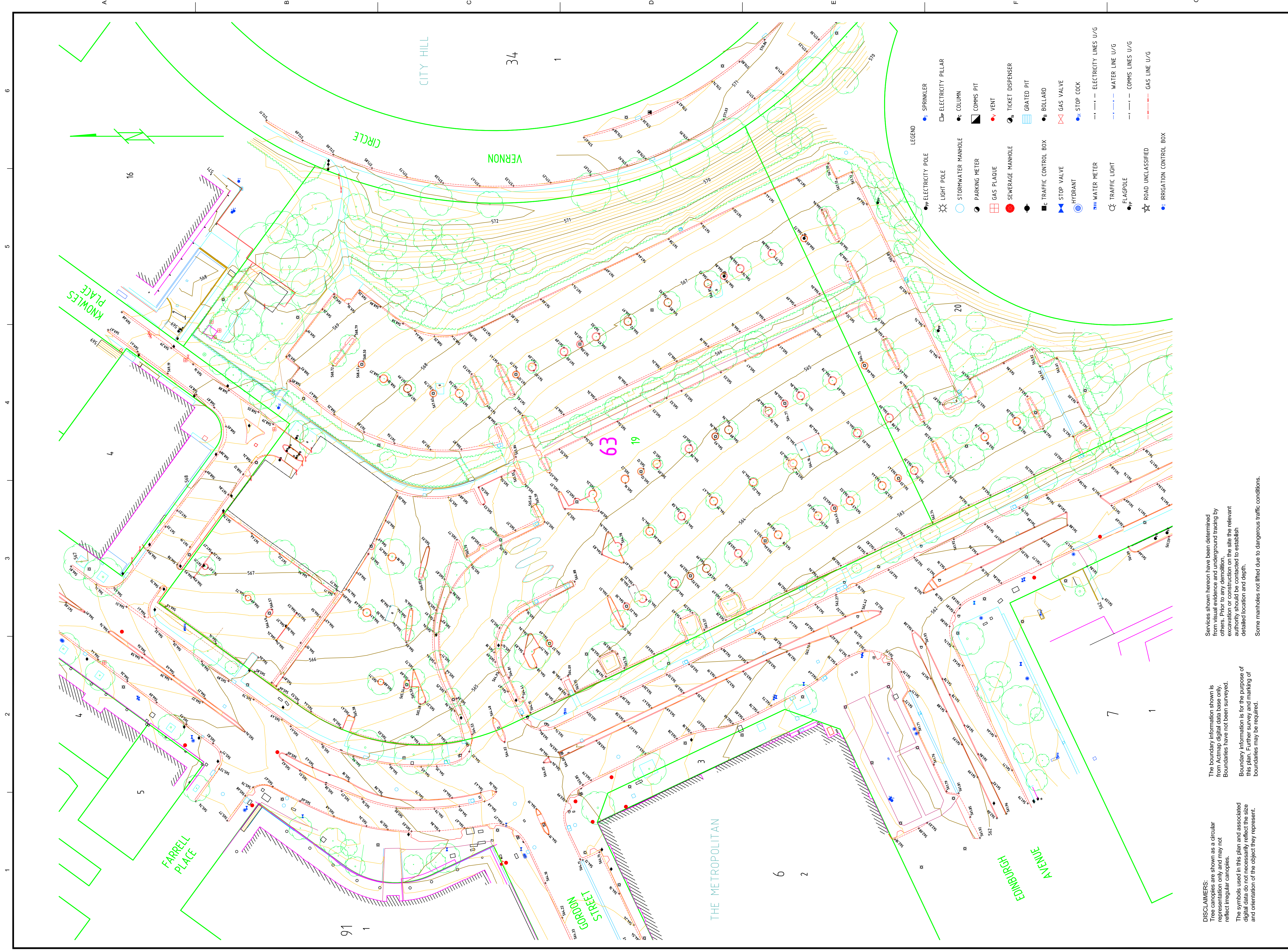
21/04/2008

07044 SERVICES\_004

Sheet No. 1 of 1

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Some manholes not lifted due to dangerous traffic conditions.

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CLIENT

LEIGHTON PROPERTIES

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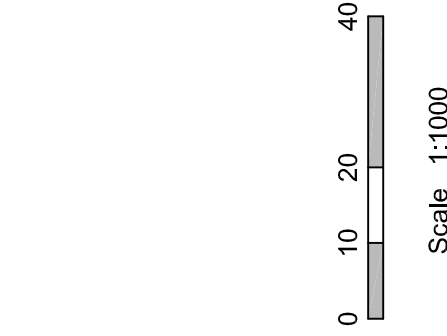
REVISION	DATE	ZONE
A	10/07/08	
INVERTS FOR SUMPS IN LONDON CIRCUIT ADDED.		

Contour Interval 0.25

Datum A.H.D

BM SR 1355

RL 562.451



LANDdata SURVEYS

Unit 3  
151 Newcastle Street,  
FYSHWICK, ACT 2609

Surveyed  
Drawn  
Checked  
Approved

R.K.LIS  
S.WADE

21/04/2008

DETAIL SURVEY  
SECTION 63 AND SURROUNDS  
CITY

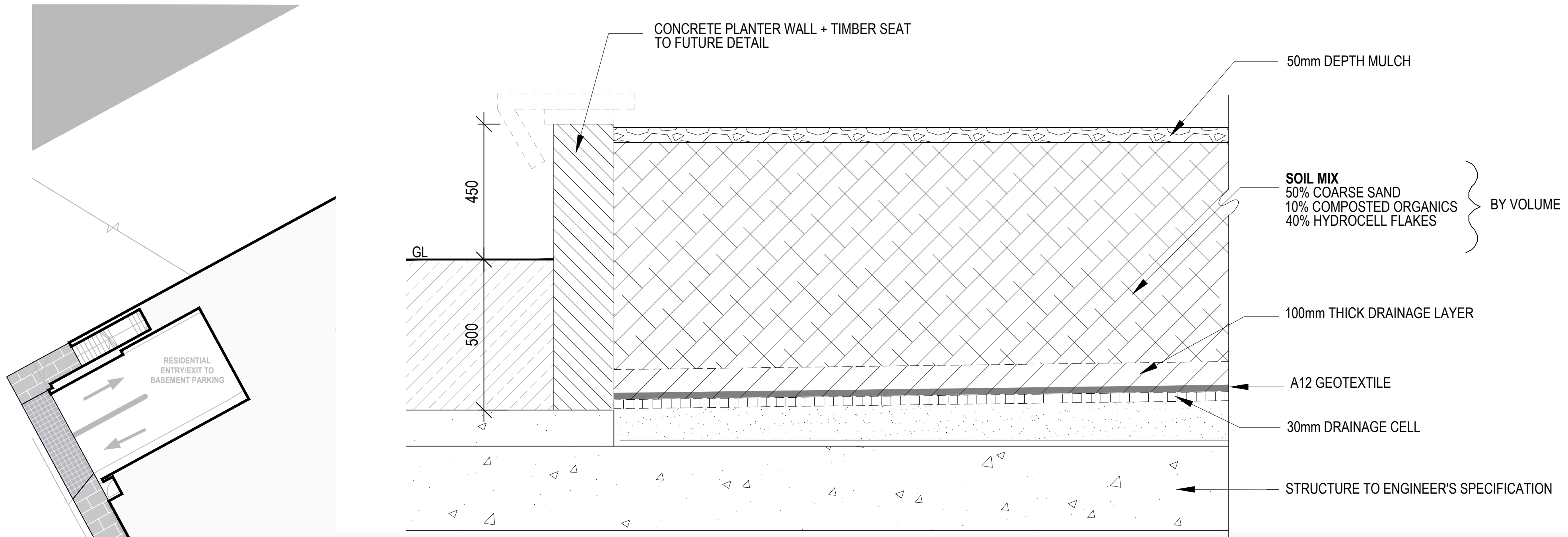
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Sheet No. 1 of 1

Rev A

07044\_CONTOURS AND FEATURES\_004

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TYPICAL SOIL PROFILE: KNOWLES STREET PLANTER

SCALE 1:20 @ A1

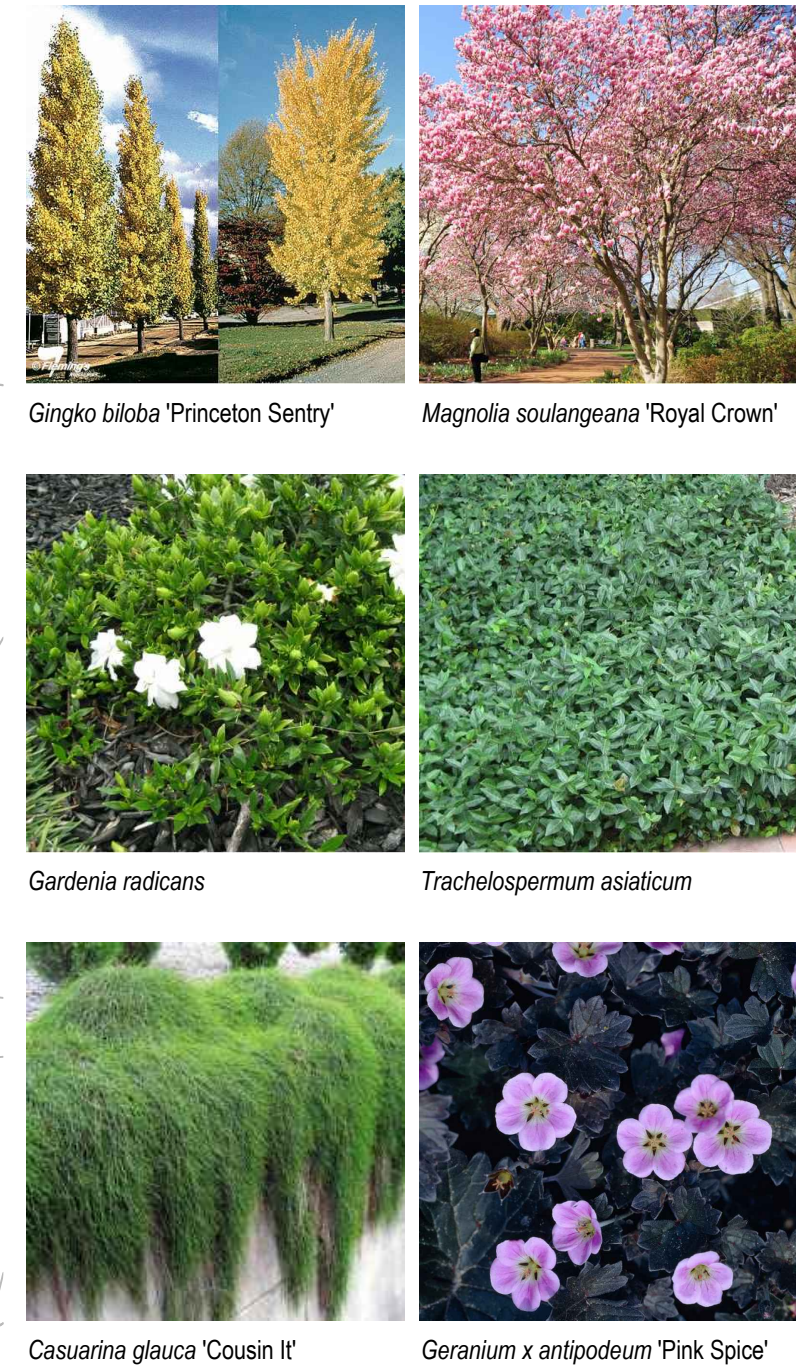
LEGEND

- proposed trees in planters
- ground cover / shrubs in planters
- sawcut concrete paving  
trafficable
- sawcut concrete paving  
dark / light oxide
- timber seating to planter walls
- concrete planter walls

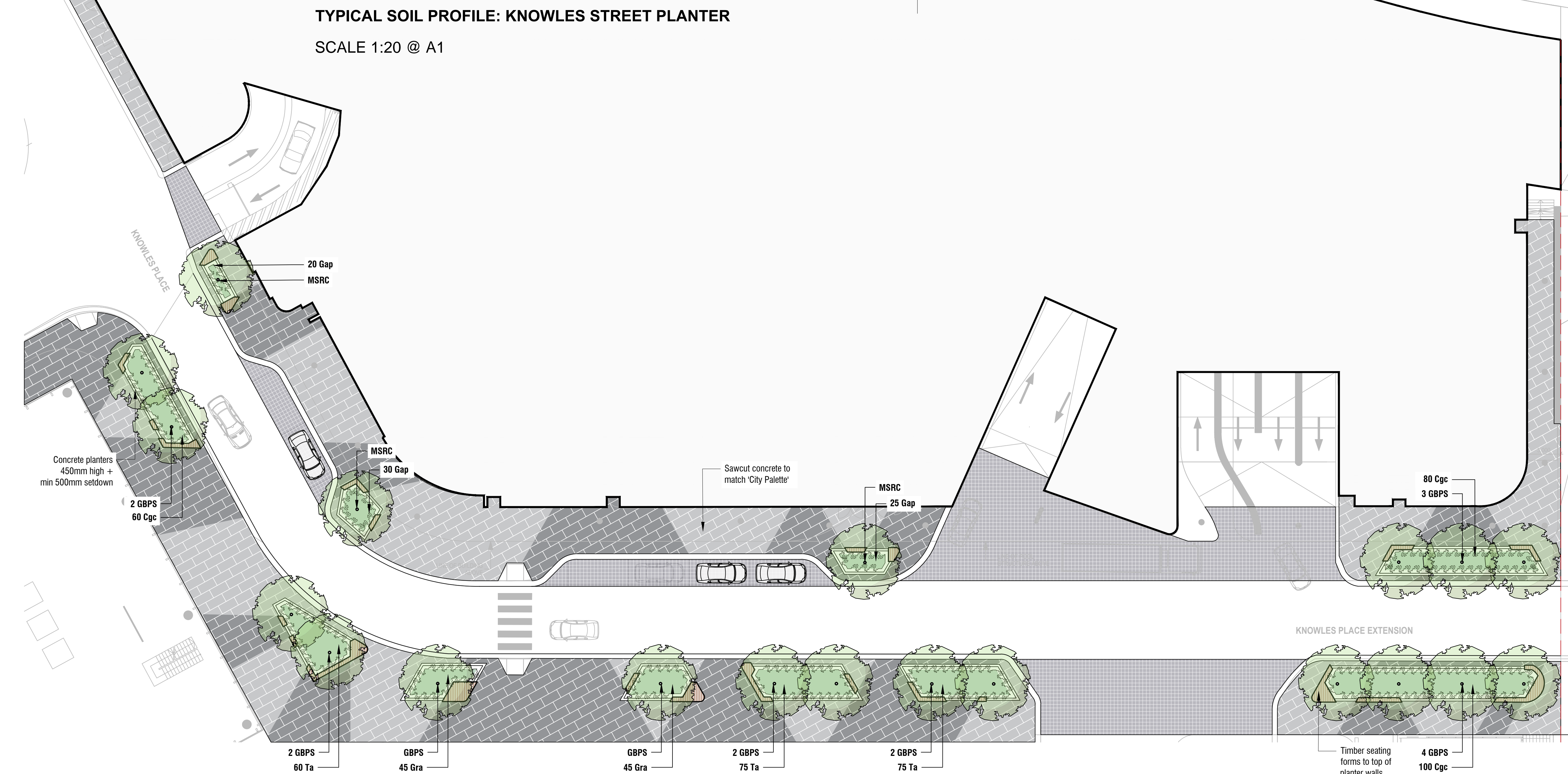
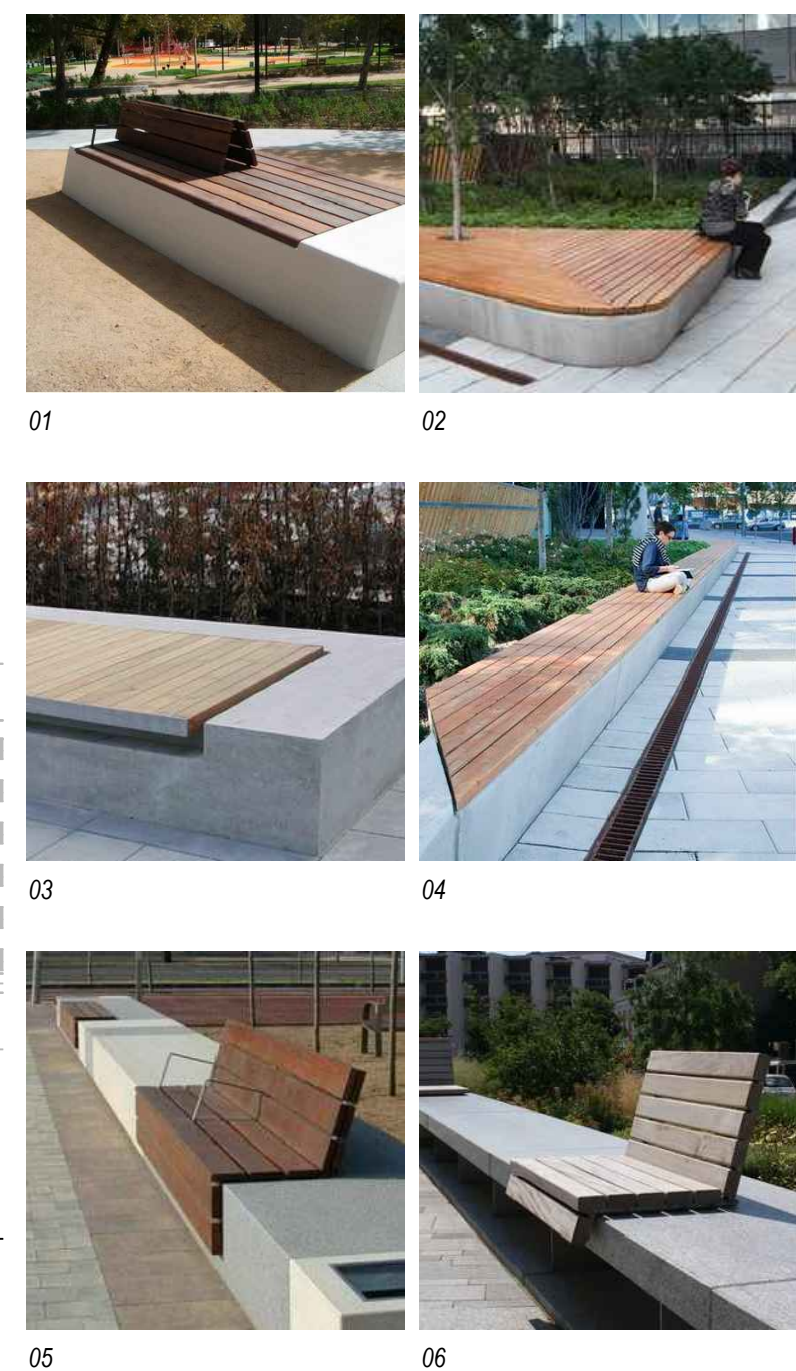
PLANT SCHEDULE

Ground Floor Knowles Place				
TREES				
SYM	NAME	SIZE	QTY	
GBPS	Ginkgo biloba 'Princeton Sentry'	100L	17	
MSRC	Magnolia soulangeana 'Royal Crown'	100L	3	
GROUND COVERS				
SYM	NAME	SIZE	QTY	
Cgc	Casuarina glauca 'Cousin It'	140mm	240	
Gra	Gardenia radicans	140mm	90	
Gap	Geranium x antipodeum 'Pink Spice'	140mm	75	
Ta	Trachelospermum asiaticum	140mm	210	

PLANT IMAGES



SEATING FORMS

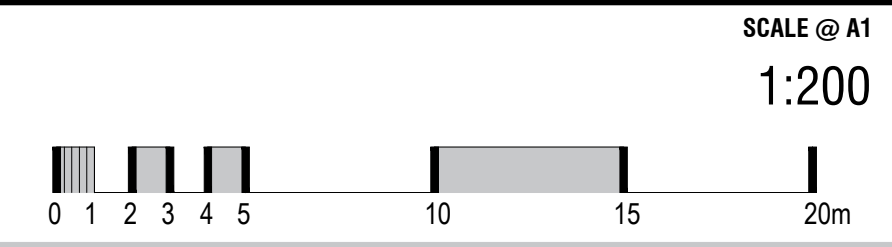


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-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-



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STATUS FOR APPROVAL

DATE	PROJECT
SEPTEMBER 2018	SECTION 100 CANBERRA CITY
CLIENT	DRAWING TITLE
MORRIS PROPERTY	LANDSCAPE PLAN - GROUND
REV C	301





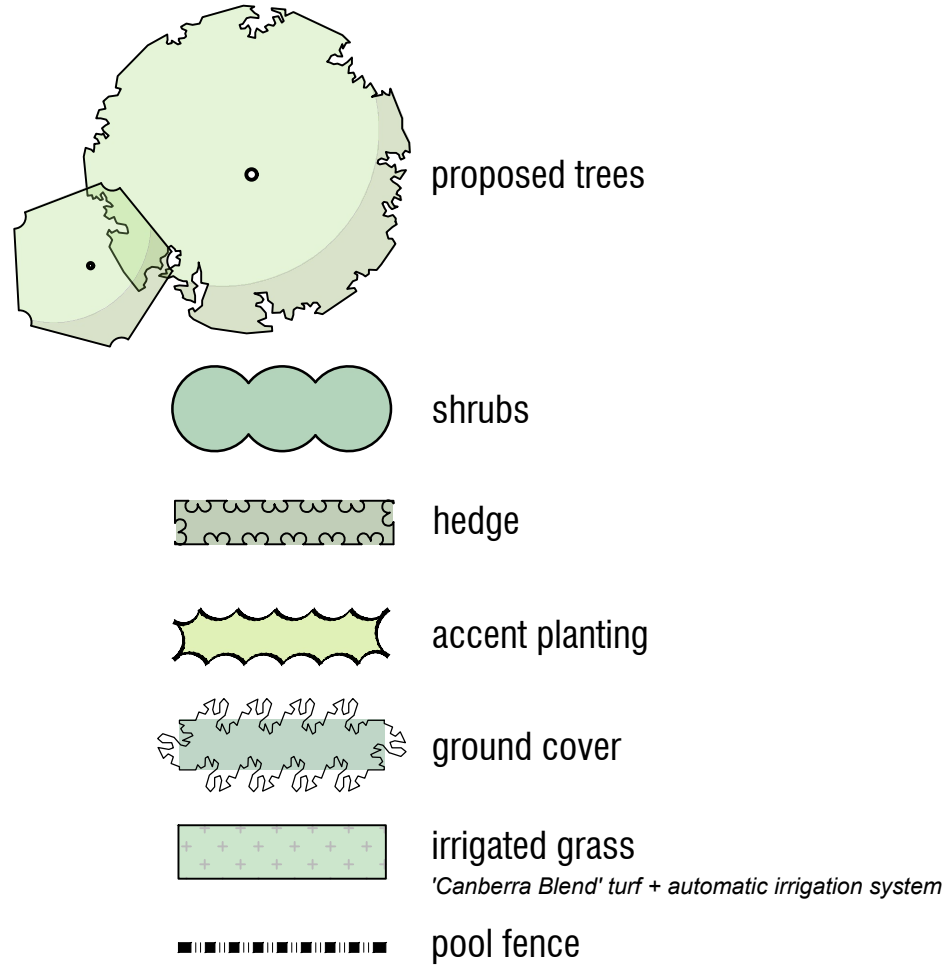




TYPICAL SOIL PROFILE: PODIUM PLANTER

SCALE 1:20 @ A1

LEGEND



PLANT SCHEDULE

Level 2 Podium				
TREES				
SYM	NAME	SIZE	QTY	
AJV	Acer japonicum 'Vitifolium'	100L	3	
APIS	Acer palmatum 'Dissectum Inaba Shidare'	100L	1	
ATPS	Acer truncatum x plat. 'Pacific Sunset'	100L	2	
CSG	Cupressus sempervirens 'Gracilis'	75L	9	
LFF	Lagerstroemia fauriei 'Fantasy'	100L	8	
MSRC	Magnolia soulangeana 'Royal Crown'	100L	3	
PCCH	Pyrus calleryana 'Chanticleer'	100L	8	
UPA	Ulmus parvifolia	200L	3	
SHRUBS				
SYM	NAME	SIZE	QTY	
Bmj	Buxus microphylla japonica	140mm	160	
Abn	Abelia grandiflora 'Nana'	200mm	19	
Cah	Camellia japonica 'Ace of Hearts'	300mm	6	
Csh	Camellia sasanqua 'Hiryu'	200mm	84	
Ct	Choisya ternata	200mm	36	
Mfi	Michelia figo	300mm	17	
Ofr	Osmanthus x fragrans	200mm	18	
Rop	Raphiolepis indica 'Oriental Pearl'	200mm	30	
Vt	Viburnum tinus	200mm	78	
ACCENT PLANTING				
SYM	NAME	SIZE	QTY	
Nd	Nandina domestica	140mm	136	
Opj	Ophiopogon japonicus	140mm	200	
GROUND COVERS				
SYM	NAME	SIZE	QTY	
Vh	Viola hederacea	140mm	125	
Cma	Convolvulus mauritanicus	140mm	60	
Gap	Geranium x antipodeum 'Pink Spice'	140mm	12	
Hca	Hedera canariensis	140mm	110	
Ho	Helleborus orientalis	140mm	25	
Jpn	Juniperus procumbens 'Nana'	140mm	75	
Rbl	Rosmarinus officinalis 'Blue Lagoon'	140mm	50	
Ta	Trachelospermum asiaticum	140mm	115	

PLANT IMAGES



REV.	DESCRIPTION	DRAWN	APPROVED	DATE
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B	ISSUE FOR APPROVAL	SK	NH	11/09/18
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-	-	-	-	-

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e hhl@hhl.com.au  
w www.hhl.com.au

SCALE @ A1  
1:200

DATE  
SEPTEMBER 2018

CLIENT  
MORRIS PROPERTY

JOB  
18109

REV  
C

DWG  
303

PROJECT  
SECTION 100 CANBERRA CITY

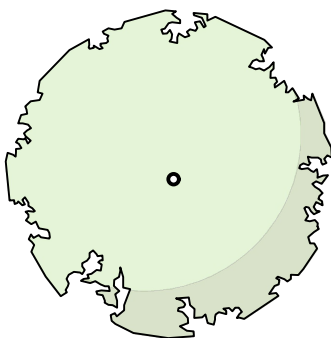
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STATUS  
FOR APPROVAL

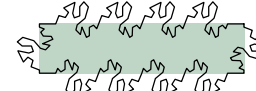




LEGEND



proposed trees



ground cover



sawcut concrete paving



gravel path

PLANT SCHEDULE

Offsite Works

TREES

SYM	NAME	SIZE	QTY
ZGV	Zelkova serrata 'Green Vase'	100L	6

GROUND COVERS

SYM	NAME	SIZE	QTY
Ta	Trachelospermum asiaticum	140mm	855

PLANT IMAGES



Zelkova serrata 'Green Vase'



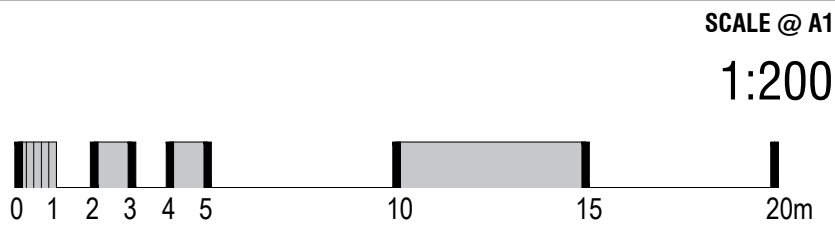
Trachelospermum asiaticum

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-	-	-	-	-



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w www.hhl.com.au



STATUS FOR APPROVAL

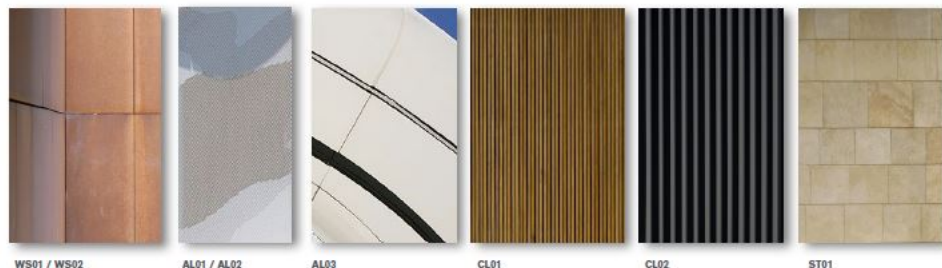
DATE  
SEPTEMBER 2018  
CLIENT  
MORRIS PROPERTY

PROJECT  
SECTION 100 CANBERRA CITY  
DRAWING TITLE  
OFFSITE WORKS PLAN

JOB 18109  
REV A  
DWG 304



## Block 8, 9, 10 & 11 - Section 100, Canberra materials board



WS01 / WS02

AL01 / AL02

AL03

CL01

CL02

ST01

### GENERAL NOTES

- ALL DIMENSIONS AND FINISHES SHOWN ON THIS BOARD ARE TO BE USED FOR THE CONSTRUCTION OF THE PROJECT. ANY CHANGES TO THE BOARD MUST BE APPROVED BY THE ARCHITECT.
- ALL DIMENSIONS MUST BE TO THE FACE UNLESS OTHERWISE SPECIFIED.
- DO NOT SCALE DIMENSIONS.
- USE THE BOARD FOR INFORMATION ONLY.

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# **CONSTRUCTION MANAGEMENT PLAN (CMP)**

For

## **One City Hill (Stage 1), The Barracks**

Blocks 7, 8, 9, 10, 11 Section 100 City, Canberra

Arranged By

**MPG Constructions Canberra Pty Limited**

Revision: 1 – 13 September 2018  
Prepared & Reviewed By: JWM





*Marketing Render – Site Location, Canberra CBD*



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## Introduction

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The first stage of redevelopment at the site commonly known as Section 100, Canberra City (formerly Section 63) consists of the planned demolition of the existing surface carpark occupying Blocks 7-11 of Section 100 and construction of an 8-9 storey mixed use residential-commercial building comprising 313 residential apartments, 6 commercial/retail units and 1250 car parking spaces and associated works. The new precinct will be known as *The Barracks* with Stage 1 to be released in late 2018 and construction commencement in 2019.

Stage 1 will be marketed and known as *One City Hill*.



*Marketing Render – One City Hill as seen from Vernon Circle*



## ***Section 1***

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### **1.1 Site Access/Construction Zone**

During the construction phase of the project, routes to and from the site will be via Gordon Street, Knowles Place and Vernon Circle.

The gated accesses will be manned by registered traffic controllers as required and it will be the responsibility of these individuals to maintain the defined cartage routes and ensure that these access ways are clean and safe at all times.

Haulage routes for delivery vehicles to site will be from London Circuit. Trucks will turn into the site from the Gordon Street intersection and enter the loading zone located at this entrance. During the civil / excavation stage of the project trucks exiting the site will be through Knowles Place gated entry and left onto London Circuit. An alternate and future delivery option for trucks to site will be via the Vernon Circle gates and loading zone.

Please refer to Attachment 1 – Site Establishment Plan.

### **1.2 Tower Crane & Hoist**

Materials handling will be carried out on site by two tower cranes and a man/materials hoist to each building. The cranes will be located in a position that maximises its lifting capacity and overall reaches over the project. The tower crane will be located to consider the proximity of neighbouring business's & property owners and does not impact upon these.

A hoist will be erected to service the car park and upper floors of the building and to allow deliveries to the loading zone to be easily lifted to the respective levels. The location will be determined at a later date and will have consideration towards all neighbouring properties in relation to noise associated to minimise local disturbance.



### **1.3 Traffic Management**

The main construction gates will be manned by registered traffic controllers when in operation to ensure the safety of both the pedestrian public and site workers. With respect to any works being conducted on the roadways or footpaths the appropriate permits will be obtained from the National Capital Authority and/or Transport Canberra & City Services prior to works commencing. The appropriate traffic control requirements and devices will be in place to ensure compliance and safety of all.

A third party Traffic Management Plan will be available for the project and made available to require local Authorities for review and approval at a later date.



## ***Section 2***

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### **2.1 Hours of Construction**

Construction works will only be carried out in accordance with National Capital Authority Works Approval i.e. 7.00am – 6.00pm Monday to Friday. Where and if required the same hours will be applied for Saturdays. After hours work may be requested at certain periods with appropriate permits attained for these instances. No works shall not be undertaken on Sundays or Public Holidays.

### **2.2 Site Accommodation**

The site will be fully hoarded on all property boundaries. Amenities and Site Offices will be established and maintained to the rear of the Sales Display building on London Circuit as per the Minor Works Approval previously received from the National Capital Authority. These facilities may be transferred within the building at a later. The main construction gate will be located on the North West corner of the construction site with an emergency exit gate located at the same location.

Please refer to Attachment 1 – Site Establishment Plan.

### **2.3 Parking of Construction Workers Vehicles**

Due to the limited nature of parking we have endeavoured to alleviate the traffic impact external to the site through the following methods:

- Tender documents will contain a notice that there is no parking on site.
- The Principal Contractor will suggest that all contractors utilise 'car pooling' where possible to minimise the number of car parks required.
- A pick-up and drop-off point will be established outside of our temporary site office for personnel, equipment and miscellaneous deliveries. This area will aid in the management of car parking and site logistics.



## ***Section 3***

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### **3.1 Public Safety**

Pedestrian through fare will be maintained around the site during all phases of the project. During this time, traffic control will be required to facilitate safe movement of vehicles and pedestrians through this zone.

The site will be protected using 2000mm+ high temporary fencing/hoardings with an emergency pedestrian gate at the NW boundary opening onto the footpath. The main construction gates will be monitored during construction vehicle access and egress for the protection of public and pedestrians. Gates will be closed and secured outside hours of work.

Statutory signage will be erected to include contact names and after hour phone numbers of MPG Constructions Canberra Pty Limited team members.

The hoardings will serve as a vehicle barrier along all street frontages to ensure that all vehicles use the designated approved site entry crossover.

These measures to protect the public i.e. hoarding erection, will have no impact or impede on those people with a disability and their movements across the frontages of the site. This is due to the levelled footpath and constant supervision in these areas by way of certified traffic controllers.

### **3.2 Workplace Health & Safety Officer**

A full time site Health and Safety Advisor and Site Manager will be employed and will be responsible for the following:

- Briefing all workers about the conditions of site access,
- Briefing all workers about the safety methods to be used on site,
- Identify health and safety hazards,
- Help implement risk assessments in the workplace.



Workers will be required to wear protective clothing at all times.

The site will be maintained in a clean and safe state at all times. Our Health and Safety Advisor will monitor this on a daily basis and where possible improvements are identified the task will be assessed with the workers and be addressed immediately.

### **3.3 Building Waste & Refuse Disposal**

Arrangements will be made with a private contractor for the regular collection, storage and disposal of all waste materials from site.

Debris from site will at all times be disposed of at an approved waste management facility.

The Site Manager will be responsible for communicating directly with the private contractor to ensure that this task is regularly completed and that the site remains both clean and safe.

At no time will any combustion of waste material be undertaken on site.

### **3.4 Presentation of Hoarding to the Street**

Hoardings will be installed with adequate lighting and signage for public safety. Statuary signage to be erected will include builder license details, contact names and after hours phone numbers in case of an emergency.

Generally, all hoardings will be in keeping with the current site fencing as per Minor Works Approval and as shown in adjacent photo.





## ***Section 4***

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### **4.1 Noise Management**

Electric machinery will be used where possible to minimise noise to adjoining properties or with appropriate attenuation to plant.

As previously stated, all construction works will be carried out in accordance with the Works Approval.

### **4.2 Dust Management**

The major cause of dust will be during the excavation phase. Water spraying plant and equipment will be used to minimise dust and its impact on the surrounding environment. The hoardings and screens are all intended to minimise dust from leaving the site.

In the construction zone there will be designated transport dust covers and wash bay area in place to control dust nuisance and contamination of external properties, roadways etc.

The following measures will also be put in place during the excavation phase to prevent dust or debris nuisance:

- All trucks carrying excavated material will secure and cover their loads when exiting and transporting from site to specified location.
- Any spillages outside of the site will be cleaned up immediately.
- All vehicles exiting site will traverse of shaker matts to ensure material is not deposited on any public road.

Scaffold and trailing screens will be erected above ground for the tower. These control air flow through the construction areas until windows are installed sealing the building to further minimise dust or debris from leaving the site floors during the construction phase.

### **4.3 Environmental Management Plan**

An Environmental Management Plan will be established and monitored by MPG Constructions Canberra and located at the Site Office for use as needed.



## ***Section 5***

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### **5.1 Government & Authority Infrastructure**

1. Kerb gullies will have environmental protection fitted.
2. The sediment barriers will be regularly maintained.
3. Footpaths will be rebuilt as required to during the Landscaping phase of construction.
4. All adjacent sewers, stormwater and water supply manholes and lids will be kept clear and protected during construction.
5. Trucks and vehicles leaving the site will exist over designated shaker matts to minimise the external imports of the site.

### **5.2 Neighbouring Properties**

A letter drop to all local residents and retailers will be accompanied with our site establishment plan, followed by further letter drops prior to any milestone events occurring.

## **Section 6**

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### **6.1 Environmental Contract**

#### **6.1.1 Site Entry and Traffic**

Entry to site will be via Elizabeth Avenue. Please refer to Figure 1.1, 1.2 and 1.3. Relevant applications will be submitted for use of car park bays and footpath as required.

#### **6.1.2 Shaker Matt Areas**

1. Each vehicle leaving site will be required to be cleaned before exiting.
2. Appropriate shaker matts in driveway zone will be installed.
3. Wash down areas will be provided for both the excavation and construction stages of the project with the water being filtered before disposal.
4. All efforts will be made to minimise water usage and wastage on site on a day to day basis.
5. Facilities to enable paint brushes and plastering items to be cleaned on site without discharge of any by-products will be installed on the project.

#### **6.1.3 Site Waste/Rubbish**

1. Waste and skip bins will be provided for the removal of waste and building rubbish from site.
2. All waste bins on site will have self closing lids preventing waste from being air-borne.

#### **6.1.4 Hazardous/Dangerous Material**

1. All hazardous or dangerous materials that are to be removed from site will be done so in accordance with the Australian Standard and Regulations.
2. All hazardous or dangerous materials will be stored on site in an enclosed area as part of the OH&S requirements.



#### 6.1.5 Stormwater Drainage

Drainage for the site will be maintained throughout construction. During the dewatering of site and excavation, testing and control of discharge of water is specifically managed for quality of release.

The other adjoining properties are at a similar level to our site and hence no run off will occur into their properties.

Ultimately, stormwater will be collected in the basement and through the site filtration, sedimentation control systems will be treated prior to discharge into either two existing council stormwater pits. Stormwater pits will be protected with sand bags and silt fabric over grates to ensure no sediment is washed down the stormwater drains.

The road and footpath frontages are to be kept clean and free from dust and debris at all times. Maintenance of the sediment controls will be undertaken by MPGCC on a regular basis and in the event of significant rainfall activity.

#### 6.1.6 Tree & Verge Protection

Exclusions zones will be established and maintained in areas as necessary to ensure the protection of surrounding trees and verges. Construction activity and storage of machines/materials will be limited to area within the site.

#### 6.1.6 Erosion & Sedimentation Control

A pre start meeting with the Civil Contractor will take place prior to the commencement of excavation works on site to determine sequence and methodology for works including but not limited to:

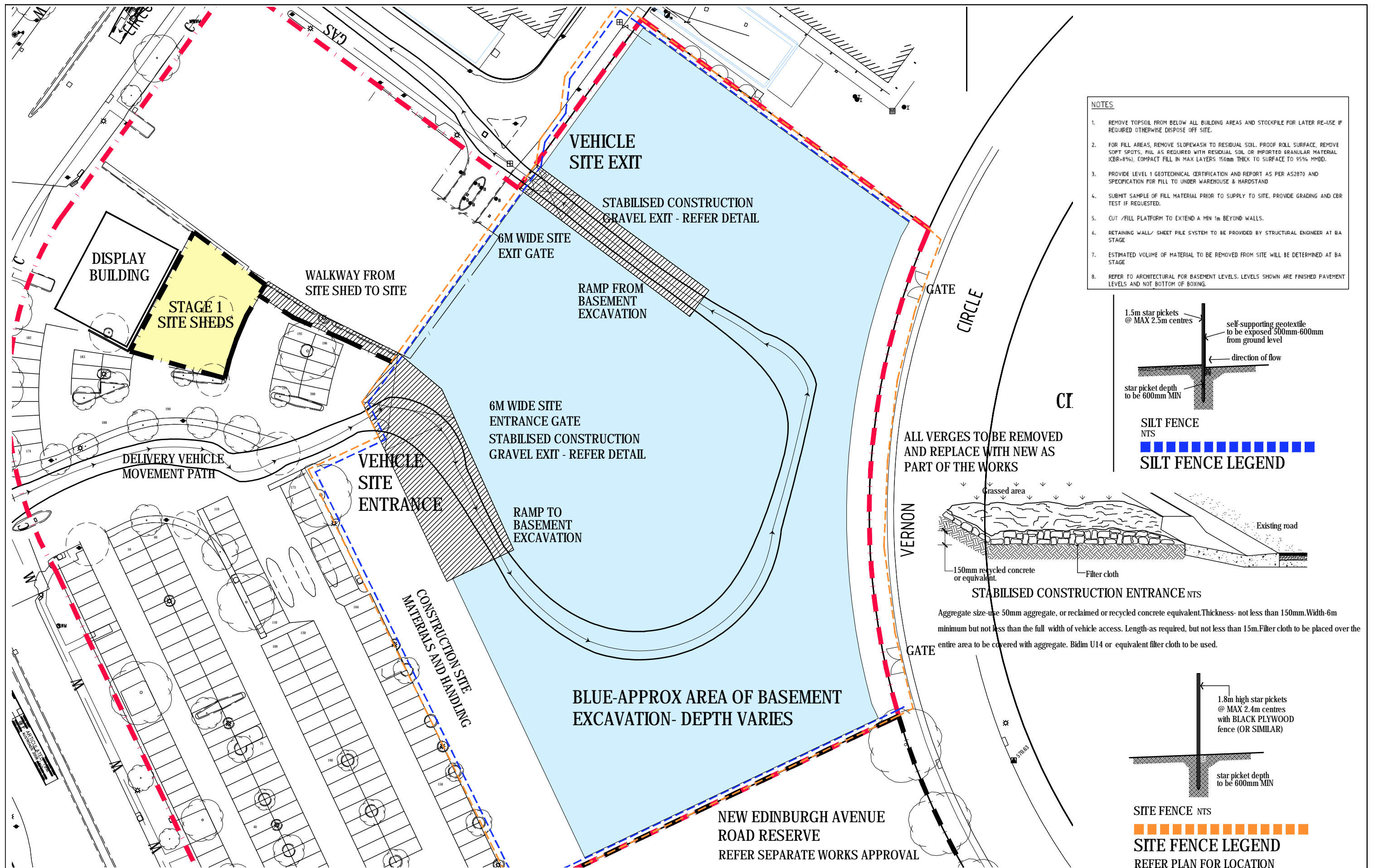
1. Clearing – limit the area exposed to erosion by not clearing and grubbing the entire area at the beginning of the work – clear and grub the area required to perform current work activity before commencement
2. Containment – measures shall be installed as soon as practical following disturbance to an area
3. Monitoring – daily checks, weekly environmental inspections and monthly environmental management reviews and reporting of outcomes

## ***Attachment 1***

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### **7.1 Site Establishment Plan**



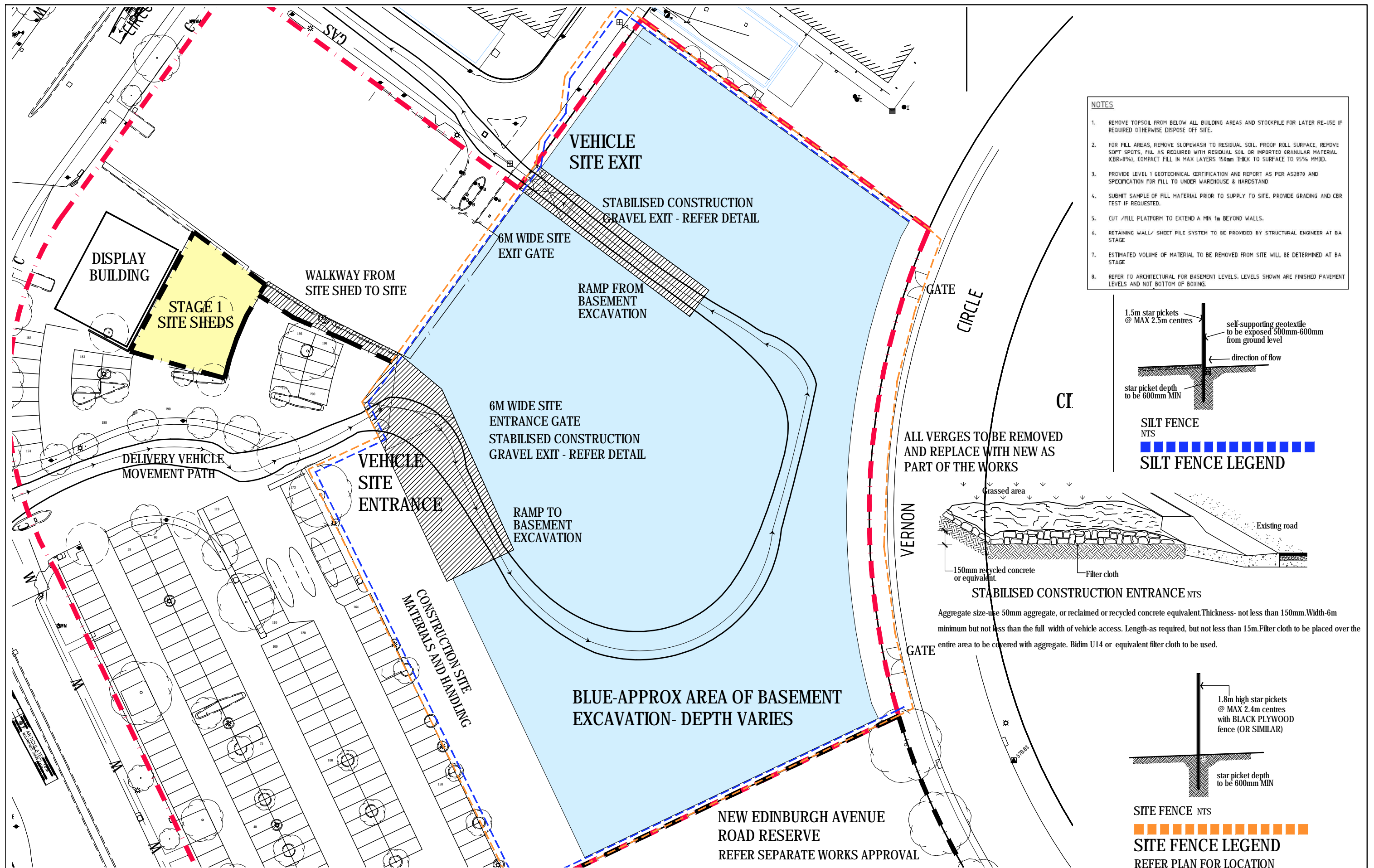


# SITE ESTABLISHMENT AND BULK EARTH WORKS DRAWING

SCALE NTS @A3 SHEET 982 CITY / 1001 (1) JUNE 11 2018  
BLOCKS 7-8-9-10-11, SECTION 100, CANBERRA CITY



dezignteam  
ARCHITECTURAL PROJECTS



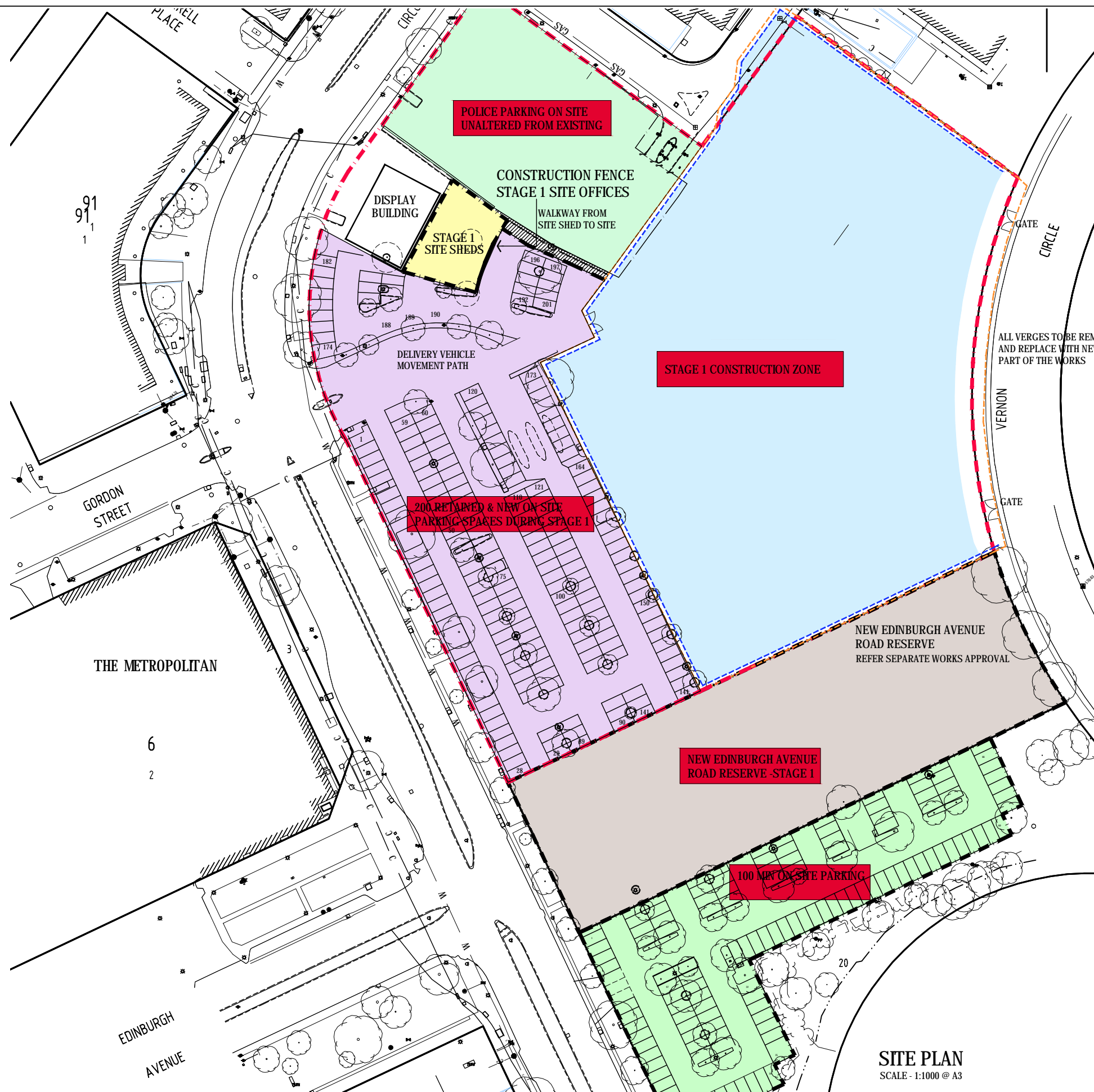
# **SITE ESTABLISHMENT AND BULK EARTH WORKS DRAWING**

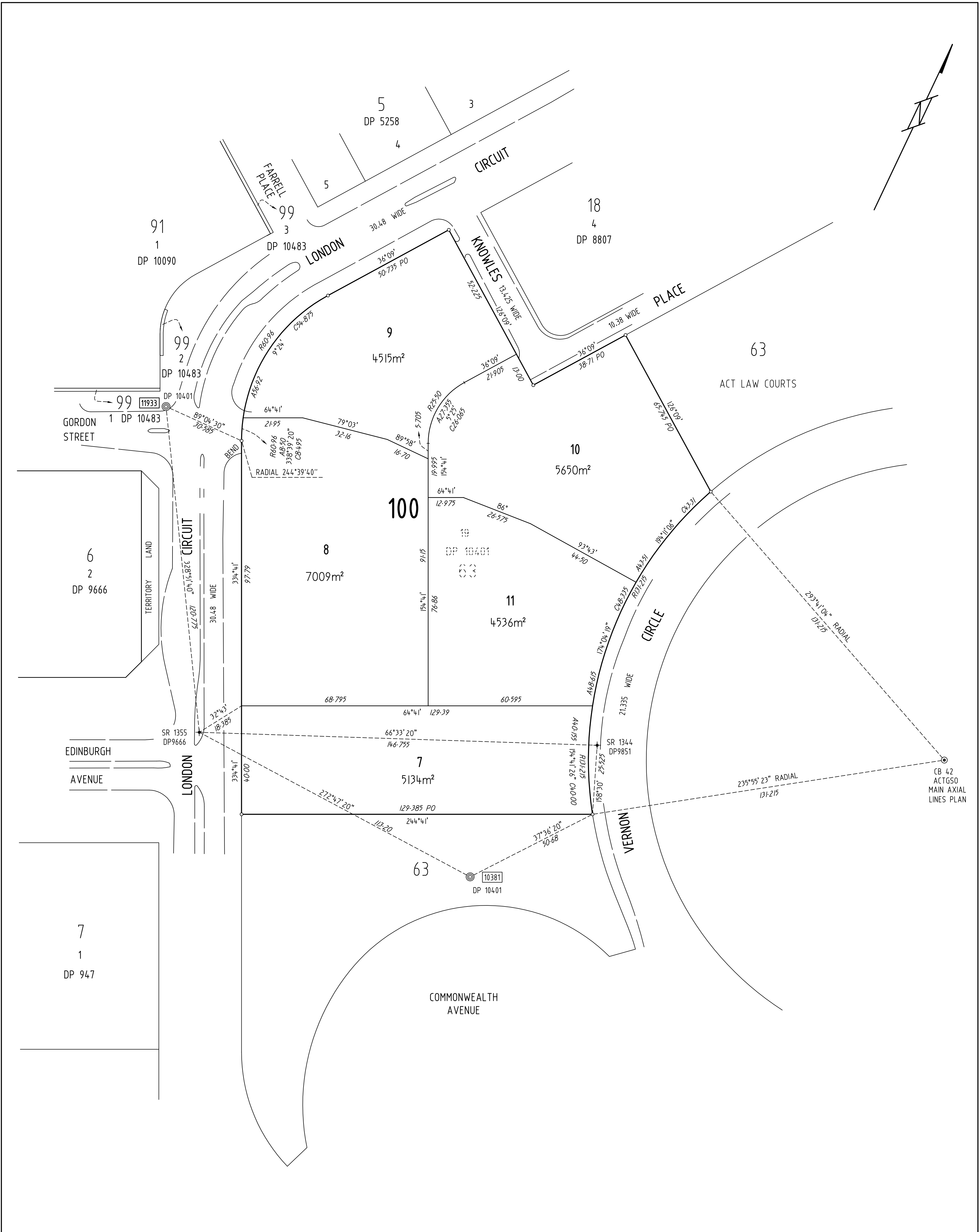
SCALE NTS @A3 SHEET 982 CITY / 1001 (1) JUNE 11 2018  
BLOCKS 7-8-9-10-11, SECTION 100, CANBERRA CITY



**dezignteam**  
ARCHITECTURAL PROJECTS







- REFERENCE MARKS
- Denotes GIP in road 1.83 radially from TP
  - Denotes CB in road 1.83 radially from TP
  - Denotes PLAQUE IN KERB
  - Denotes DEEP DRIVEN ROD
  - Denotes DH&W IN KERB
- (Except as otherwise shown)

NOTE

All Easements are 2.5 metres wide  
(Except as otherwise shown)

Azimuth: A-B (Strom)

Field Books:  
Surveyor's Ref : 07044\_DP\_001

I, WILLIAM ROBERT CAMPBELL  
of LANDdata SURVEYS Pty Ltd CANBERRA  
a surveyor registered under the Surveyors Act 2007 hereby certify  
that the survey represented on this plan is accurate, has been  
compiled from DP 10401 and has been computed and has been  
made in accordance with the Surveyors Practice Directions  
and was completed on 3 DECEMBER 2010

(Signature) .....  
Surveyor registered under the Surveyors Act 2007.

I certify that this plan is the plan prepared in accordance with the  
Districts Act 2002

Surveyor-General of the ACT

PLAN OF  
BLOCKS 7-11 SECTION 100  
BEING A SUBDIVISION OF BLOCK 19 SECTION 63

DIVISION: CITY  
DISTRICT: CANBERRA CENTRAL  
AUSTRALIAN CAPITAL TERRITORY

SCALE 1:750  
0 5 10 15 20 30 40 METRES

Deposited in the office of the Registrar of Titles at Canberra  
in the Australian Capital Territory the  
day of 20 at minutes  
past o'clock in the noon  
Approved

Registrar of Titles

DEPOSITED PLAN

AMENDS DP 10401